



NOTICE OF HEARING

October 27, 2025

Tobie & Matt Sanders
16490 SW Brookman Rd.
Sherwood, OR 97140

RE:: County of Clackamas v. Tobie & Matt Sanders
File: V0042123

Hearing Date: December 11, 2025

Time: This item will not begin before 9:30 AM however it may begin later depending on the length of preceding items.

Location: Hearing will be held by virtual Zoom meeting. Please see attached information regarding the process for the Zoom meeting.

Enclosed you will find the following:

1. Notice of Rights
2. Copy of Complaint and Request for Hearing

You **must** appear at the time set forth in this Notice of Hearing or the relief requested in the **Complaint** may be **granted against you by default**.

You can access the complete hearing packet at
<https://www.clackamas.us/codeenforcement/hearings>

You may contact Andrea Hall, Code Compliance Specialist for Clackamas County at (503) 742-4467, should you have any questions about the violation(s) in the **Complaint**. Do not call the Compliance Hearings Officer.

Enclosures

CC: Carl Cox -Compliance Hearings Officer

STATEMENT OF RIGHTS

1. Prior to the Hearing. You have the right to make the following requests:

- (A) You can request the opportunity to review public records and talk to County Staff about the violations or request a subpoena for that purpose if the County does not allow you to do so.
- (B) You can request that the Hearings Officer postpone the hearing for good cause by writing the Hearings Officer at least 7 calendar days prior to the scheduled hearing date.
- (C) You can request that the Hearings Officer decide the matter based exclusively on written materials from the parties or conduct the hearing by phone.

2. Procedure. The hearing will be governed by general rules of procedure designed to allow you to hear and confront the evidence against you, and for you to present evidence favorable to you. You are not required to present any evidence; the burden is on the County to establish by a preponderance of evidence that a violation exists or existed. Either party may, at their own expense, obtain an attorney, to represent that at the hearing. If you wish to be represented by an attorney, they need only notify the County and the Hearings Officer in writing of their intent to appear on your behalf. The County will present evidence first, and then you may question that evidence. You may then present your own evidence, if you wish, and the County may question your evidence. Testimony by witnesses is evidence. The Hearings Officer may inquire into any facts that are relevant to the hearing and may question parties or witnesses about the case. Evidence of a type commonly relied upon by reasonably prudent persons in the conduct of their serious affairs shall be admissible.

3. Record of Proceedings. An audio record will be made of the proceedings when a hearing is conducted. The audio record is available through the Clackamas County Code Enforcement Section and is available to you upon request.

4. Hearings Officer. The Hearings Officer is an independent contractor paid by the County to conduct hearings and render decisions. He/she is not a County employee. His/her function is to preside over the hearing, make a record of proceedings, consider admissible evidence and interpret and apply the law. After the hearing is closed, the Hearings Officer will enter written findings of fact, conclusions of law and any Order deemed proper. If a violation is proven, then the Order may include civil penalties, fines, administrative fees, or may require the respondent to take certain actions, or refrain from certain actions. An Order issued by the Hearings Officer may be a final order or a continuing order. The Hearings Officer Order is the final decision of the County, and may be appealed pursuant to Oregon Law. The Hearings Officer for Clackamas County is:

**Carl Cox
Attorney at Law
14725 NE 20th Street, #D-5
Bellevue, WA 98007**

5. Right to Recess. If, during the course of the hearing, the Respondent or the County requests a recess or postponement, or additional time to present crucial evidence, the Hearings Officer may allow a continuance of the hearing for good cause. The Respondent may also request that the proceedings be continued after the end of the hearing if the Respondent determines that additional evidence should be brought to the attention of the Hearings Officer.

6. Right to Appeal. The Final Order of the Hearings Officer shall set forth the right of the respondent to appeal any adverse Order. Appeal may be taken pursuant to Section 2.07.130 of the Clackamas County Hearing Officer Code, and Oregon Revised Statute 34.010-34.100. If appeal is taken, the appellant is responsible for all costs of appeal including preparation of transcript.



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

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You must have access to the internet or to a telephone line to use the Zoom platform. A copy of the link is provided below. Once you have joined the meeting, please allow the moderator to promote you to a panelist.

If you would like to present evidence at the Hearing please email Andrea Hall at AndreaHal@clackamas.us or mail your evidence to Andrea Hall at 150 Beaver Creek Rd, Oregon City, Oregon 97045, **no later than 4 working days prior to the hearing**. Staff will process your evidence for the hearing and provide the numbered documents to the Hearings Officer and send them back to you for reference.

If you are unable to participate in a hearing through the Zoom platform, please contact Andrea Hall at 503-742-4467 **within 3 calendar days of receipt of the Notice of Hearing**.

If you are unfamiliar with using the Zoom platform, please perform an internet search of "how to use Zoom" and there are many interactive guides available. **When joining the webinar please accept the request to join as a panelist.**

If you experience difficulties connecting to the Zoom hearing **before** your scheduled start time, please call 971-930-6134 for assistance.

Zoom Invite:

Join from PC, Mac, iPad, or Android:

<https://clackamascounty.zoom.us/j/89337563017?pwd=P0o59Wwoba3LUgja77IYxsvjcPxzps.1>

Passcode:615115

Phone one-tap:

+16694449171,,89337563017# US

+16699006833,,89337563017# US (San Jose)

Join via audio:

+1 669 444 9171 US

+1 669 900 6833 US (San Jose)

+1 719 359 4580 US

+1 253 205 0468 US

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 408 638 0968 US (San Jose)

+1 305 224 1968 US

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

+1 360 209 5623 US

+1 386 347 5053 US

+1 507 473 4847 US

+1 564 217 2000 US

+1 646 876 9923 US (New York)

+1 646 931 3860 US

+1 689 278 1000 US

+1 301 715 8592 US (Washington DC)

Webinar ID: 893 3756 3017

International numbers available: <https://clackamascounty.zoom.us/j/kciwWV5CGE>

Department of Transportation and Development

Nondiscrimination Policy:

The Department of Transportation and Development is committed to non-discrimination. For more information go to: www.clackamas.us/transportation/nondiscrimination

¡LE DAMOS LA BIENVENIDA! Spanish

El Departamento de Transporte y Desarrollo está comprometido con la no discriminación. Para obtener más información, visite: www.clackamas.us/transportation/nondiscrimination

ДОБРО ПОЖАЛОВАТЬ! Russian

Департамент транспорта и развития инфраструктуры стремится к соблюдению политики недопущения дискриминации. Для получения дополнительной информации посетите веб-сайт: www.clackamas.us/transportation/nondiscrimination

欢迎! Chinese (Mandarin)

交通和发展部致力于实现非歧视。如需了解更多信息，请访问
www.clackamas.us/transportation/nondiscrimination

CHÀO MỪNG! Vietnamese

Bộ Vận Tải và Phát Triển cam kết thực thi chính sách không phân biệt đối xử. Để biết thêm thông tin, vui lòng truy cập trang mạng:
www.clackamas.us/transportation/nondiscrimination

환영합니다. Korean

운송개발부는 차별 금지를 위해 모든 노력을 기울이고 있습니다. 자세한 내용은 홈페이지 www.clackamas.us/transportation/nondiscrimination

BEFORE THE COMPLIANCE HEARINGS OFFICER
for the
CLACKAMAS COUNTY BOARD OF COMMISSIONERS

COUNTY OF CLACKAMAS,

Petitioner,

File No: V0042123

v.

MATT SANDERS,
and

TOBIE SANDERS,

Respondents.

COMPLAINT AND REQUEST FOR HEARING

I, Andrea Hall, Senior Code Enforcement Specialist for Clackamas County, allege the following:

1.

Respondents Matt & Tobie Sanders mailing address is: 16490 SW Brookman Rd.,
Sherwood, OR 97140.

2.

The Respondents own/owns or occupies the address or location of the violation(s)
of law alleged in this Complaint 16490 SW Brookman Rd., Sherwood, OR 97140, also known as
T3S, R1W, Section 5B , Tax Lot 1802, and is located in Clackamas County, Oregon. The property is
zoned Rural Residential 5-Acres and is the location of violation(s) asserted by the County.

3.

On or about the 5th day of February 2024 and the 3rd day of June 2025 the Respondents
violated the following laws, in the following ways:

- a. Section 316.03 of the Clackamas County Code Zoning and Development Ordinance for
operating a commercial sport court without land use approval.

This violation is a Priority 2 violation pursuant to the Clackamas County Violation Priorities.

b. Chapter 9.02.040(A)(B)(C)(D) of the Clackamas County Code as it applies to the Application and Enforcement of the Clackamas County Building Code for operating a commercial sport court without proper permits and approved final inspections. This violation is a Priority 1 violation pursuant to the Clackamas County Violation Priorities.

4.

The Department initiating this procedure is the Code Enforcement Section of the Department of Transportation and Development.

5.

Notice of the violation was given to Respondents in the following manner:

Violation Notice dated February 5, 2024 and Citation and Complaint #2300421 dated June 3, 2025.

A copy of the notice documents are attached to this Complaint as Exhibits B & C, and incorporated by this reference.

6.

Based on these allegations, petitioner requests that a hearing be set in this matter.

Petitioner seeks an Order from the Hearings Officer granting the following relief:

1. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondents to immediately abate the violations and bring the property at issue into compliance with all laws, and permanently enjoining Respondents from violating these laws in the future;

2. Pursuant to Clackamas County Code Section 2.07.090, imposing a civil penalty against Respondents for each violation, within the range established by the Board of County Commissioners. Said range for the Priority 2 violation being \$500.00 to \$2500.00 and

said range for the Priority 1 violation being \$750.00 to \$1000.00 per occurrence as provided by Appendix B to the Clackamas County Code;

3. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondents to pay an administrative compliance fee as provided by Appendix A to the Clackamas County Code; and

4. Pursuant to Clackamas County Code Section 2.07.090, ordering Respondents to reimburse the County for any expense the County may incur in collection of any penalties, fines or fees that may be imposed:

5. Ordering any other relief deemed reasonably necessary to correct the violations.

DATED THIS 23rd day of October, 2025.



Andrea Hall
Senior Code Enforcement Specialist
FOR CLACKAMAS COUNTY

COUNTY OF CLACKAMAS,

Petitioner,

v.

MATT SANDERS,
and
TOBIE SANDERS,

Respondents.

File No.: V0042123

STATEMENT OF PROOF

History of Events and Exhibits:

January 2, 2024 Exhibit A	In response to a complaint, an alleged letter was mailed to the Respondents regarding a commercial gym operating without land use approval or building permits.
January 16, 2024	The County spoke with Nathan Krause of iDesignWorks who indicated that he would be assisting the owner with submitting a Conditional Use permit application for the commercial use. He stated that he has the pre-application paperwork and will be meeting with his clients next week to complete it.
February 5, 2024 Exhibit B	A violation notice was mailed to the Respondents with a deadline of February 29, 2024 to submit the Conditional Use pre-application conference application to the Clackamas County Planning Department. If, after meeting with the County the Respondents opt to move forward, a complete Conditional Use application was to be submitted within 45 days of the pre-application conference.
September 10, 2024	A pre-application conference application was received by the Clackamas County Planning Department and a pre-application meeting took place on October 21, 2024.
June 3, 2025 Exhibit C	After a review of County records revealed that a Conditional Use application had not been submitted to the Clackamas County Planning Department, citation number 2300421 was issued to the Respondents in the amount of \$400.00 for the Zoning violation, no fee was assessed for the Building Code violation as the County was seeking civil penalties.
August 18, 2025 Exhibit D	A Conditional Use application, Z0343-25 was submitted to the Clackamas County Planning Department on August 18, 2025.

September 17, 2025
Exhibit E

A Notice of Incomplete Land Use Application was sent to the Respondents with a list of 12 items to be completed.

October 23, 2025

After a review of County records revealed that the land use application, Z0343-25, remains incomplete, the County referred this matter to the Code Enforcement Hearings Officer.

If the Hearings Officer affirms the County's position that a violation of the Zoning and Development Ordinance and Building Code exist on the subject property, the County would request a Continuing Order be issued requiring the Respondent to do the following within 30 days of the date of the Order.

- Submit the requested information to the Clackamas County Planning Department so that the application, Z0343-25 may be deemed complete.

If the application is approved, the Respondents must do the following within 30 days of the date of land use approval.

- Submit all required permit applications to the Clackamas County Building Department, respond to requests for clarification or additional information from permitting staff within 15 days of receiving such request.
- The permits must have the fees paid in full within ten days of being notified by Building Codes in order to prevent delay of the issuance of permits.
- Schedule all inspections so that final inspections may be obtained not later than 45 days of the date of receipt of the approved permits.

If the application is approved, the Respondents must do the following within 60 days of the date of the land use approval.

- Complete all additional conditional of approval pertaining to the Conditional Use permit.

The County will submit a timely Post Hearing Status Report. The report will be sent to the Compliance Hearings Officer and to the Respondents. The report may include the following recommendations:

- Payment of citation number 2300421 in the amount of \$400.00 for the Zoning and Building violations for date cited June 3, 2025.
- The imposition of civil penalties of \$500.00 to \$2500.00 for the Priority 2 Zoning violation for the date cited June 3, 2025.
- The imposition of civil penalties of \$750.00 to \$1000.00 for the Priority 1 Building Code violation for the date cited June 3, 2025.

The administrative compliance fee to be imposed as follows:

- February 2024 to June 2025 \$75.00 per month for a total of \$1200.00.
- July 2025 to October 2025 \$100.00 per month for a total of \$400.00.

Total of \$1600.00, however, because this case was opened prior to July 1, 2025 when the County ceased waiving administrative fees, the County is requesting a reduced amount of \$675.00 as a reasonable estimate of the cost of this enforcement matter.

- If the violations are not abated the County may request authorization for further enforcement action including to proceed to Circuit Court.
- The County requests the Hearing's Officer to permanently enjoin the Respondent from violating these laws in the future.



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

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January 2, 2024

Tobie & Matt Sanders
23240 SW Sherk Pl.,
Sherwood, OR 97140

**Subject: Alleged Violations of the Zoning and Development Ordinance,
Title 12, Section 316 and the Building Code, Chapter 9.02.040
of the Clackamas County Code**

Site Address: 16490 SW Brookman Dr., Sherwood, OR 97140
Legal Description: T3S, R1W, Section 05B, Tax Lot 01802

It has come to the attention of Clackamas County Code Enforcement that a commercial gym, Sanders Court, may be operating from the above referenced property without land use approval. In addition, a residential building may be being used for commercial purposes without the benefit of permits and building permit B0000622 has expired.

This may constitute a violation of the Zoning and Development Ordinance, Title 12, Section 316 and the Building Code, Chapter 9.02.040 of the Clackamas County Code.

Please contact Andrea Hall, Code Enforcement Specialist, within ten (10) days of the date of this letter in order to discuss this matter.

E-mail address is Andreahal@clackamas.us

Telephone number is 503-742-4467

**Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that a \$75.00 monthly Administrative Compliance Fee will be assessed if a violation has been determined and has not been abated. When a property owner works cooperatively with the County to resolve a confirmed code violation, the County may waive all or part of that fee.*

Department of Transportation and Development

Nondiscrimination Policy:

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¡LE DAMOS LA BIENVENIDA! Spanish

El Departamento de Transporte y Desarrollo está comprometido con la no discriminación. Para obtener más información, visite: www.clackamas.us/transportation/nondiscrimination, envíe un correo electrónico a JKauppi@clackamas.us o llame al 503-742-4452.

ДОБРО ПОЖАЛОВАТЬ! Russian

Департамент транспорта и развития инфраструктуры стремится к соблюдению политики недопущения дискриминации. Для получения дополнительной информации посетите веб-сайт: www.clackamas.us/transportation/nondiscrimination, отправьте письмо на адрес эл. почты JKauppi@clackamas.us или позвоните по телефону 503-742-4452.

欢迎! Chinese (Mandarin)

交通和发展部致力于实现非歧视。如需了解更多信息，请访问 www.clackamas.us/transportation/nondiscrimination，发送电子邮件至 JKauppi@clackamas.us 或致电 503-742-4452。

CHÀO MỪNG! Vietnamese

Bộ Vận Tải và Phát Triển cam kết thực thi chính sách không phân biệt đối xử. Để biết thêm thông tin, vui lòng truy cập trang mạng:

www.clackamas.us/transportation/nondiscrimination, gửi email đến JKauppi@clackamas.us hoặc gọi điện thoại theo số 503-742-4452.

환영합니다. Korean

운송개발부는 차별 금지를 위해 모든 노력을 기울이고 있습니다. 자세한 내용은 홈페이지 www.clackamas.us/transportation/nondiscrimination을 참조하거나 이메일 JKauppi@clackamas.us, 또는 전화 503-742-4452번으로 연락 주십시오.



DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD | OREGON CITY, OR 97045

February 5, 2024

Matt & Tobi Sanders
23240 SW Sherk Pl.
Sherwood, OR 97140

Matt & Tobi Sanders
16490 SW Brookman Rd.
Sherwood, OR 97140

Subject: Violation of the Clackamas County Code V0042123

Site Address: 16490 SW Brookman Rd. Sherwood, OR 97140

Legal Description: T3S, R1W, Section 05B, Tax Lot 1802

It has come to the attention of the Clackamas County Code Enforcement Section that a volleyball club is meeting and clinics being held in an accessory building on the subject property without land use approval or required permits and inspections. This constitutes a violation of section 316.03 of the Clackamas County Zoning and Development Ordinance and Chapter 9.02.040 of the Clackamas County Code as it pertains to the Application and Enforcement of the Clackamas County Building Code.

After speaking with Nathan Krause, it's the County's understanding that you will be submitting an application for a Conditional Use permit requesting approval of the activity on the property. Please submit a technically complete pre-application conference packet to the Clackamas County Planning Department no later than **February 29, 2024**. If after meeting with County staff you decide to move forward with a Conditional Use application, please submit the required documents to the Clackamas County Planning Department within 45 days of the date of the pre-application conference. Once the land use portion is resolved, the issue of the accessory structure will need to be addressed. Currently the permit for the structure, B0000622, is for an 80 x 100 residential structure, this permit has expired without an approved final inspection, there are no electrical or plumbing permits associated with this building.

If you have any questions concerning the land use application process, please contact the Planning Division at 503-742-4500, or email zoninginfo@clackamas.us or, you may stop by our offices at 150 Beavercreek Rd., Oregon City, OR 97045, Monday through Thursday between the hours of 8:00 a.m. and 4:00 p.m.

Please feel free to contact me if you have any questions. My direct telephone number is 503-742-4467 or email andreahal@clackamas.us.

Thank you for your prompt attention to this matter.



Andrea Hall
Clackamas County
Code Enforcement Section

Important Notices

1. **Administrative Compliance Fees.** It is important that you contact the Code Enforcement Section to resolve the violations described in the enclosed letter. **An administration compliance fee of \$75 will now be assessed monthly until the violations are abated.**
2. **Failure to resolve those violations may result in one or more of the following:** (1) a citation and fine, and (2) referral of this matter to the County Code Enforcement Compliance Hearings Officer.
3. **Request for a Hearing:** If you dispute the existence of the violations described in the enclosed letter you may request a hearing before the Hearings Officer by sending a written request for a hearing, including your name and address to: Code Enforcement Section, 150 Beaver Creek Rd., Oregon City, OR 97045, or at codeenforcement@clackamas.us.
4. **Potential Fines and Penalties:** The Clackamas County Code provides for Citation fine amounts of up to \$500 and additional civil penalties imposed by the Hearings Officer of up to \$3,500 for each day the County verifies the noncompliance. Fine amounts and civil penalties may be assessed for each cited violation and may be assessed separately against each named party. In addition, the Hearings Officer may order the violation to be abated by the County at the expense of the property owner(s) and responsible parties.
5. **Voluntary Compliance:** Clackamas County encourages voluntary compliance with code violations to support a safe and healthy community for all. Please note that when a property owner works cooperatively with the County to resolve a confirmed code enforcement violation, the County may in its discretion waive all or part of the \$75 per month administrative fee.
6. **Non-Compliance may result in a lien upon your property:** Fines and costs are payable upon the effective date of the final order declaring the fine and costs. Fines and costs under this Chapter are a debt owing to the County, pursuant to ORS 30.460, and may be collected in the same manner as any other debt allowed by law. If fines or costs are not paid within 60 days after payment is ordered, the County may file and record the order for payment in the County Clerk Lien Record.
7. **Final Order may be enforced in Circuit Court:** Also, be advised that non-compliance with a Hearings Officer's Order may result in the matter being referred to County Counsel for legal action in Circuit Court which may result in additional penalties or other sanctions.
8. **Recurrences will result in additional Citations:** Finally, recurrences of abated violations may result in the issuance of a citation without prior notice.



Citation No. 2300421

Case No. V0042123

ADMINISTRATIVE CITATION

Date Issued: June 3, 2025

Name and Address of Person(s) Cited:

Name: Matt & Tobie Sanders

Name:

Mailing Address: 23240 SW Sherk Pl.

City, State, Zip: Sherwood, OR 97140

Date Violation(s) Confirmed: On the 3rd day of June, 2025 the person(s) cited committed or allowed to be committed, the violations(s) of law described below, at the following address:

Address of Violation(s): 16490 SW Brookman Rd., Sherwood, OR 97140

Legal Description: T3S, R1W Section 05B, Tax Lot(s) 1802

Law(s) Violated:

☐ Chapter 9.02 of CCC Application and Enforcement of the Clackamas County Building Code, Section 9.02.040, (A)(B)(C)(D)

☐ Title 12 and 13 of CCC Zoning and Development Ordinance, Section 316.03

Description of the violation(s):

- 1) Persons cited are allowing the operation of Sanders Court on the subject property without land use approval.

Maximum Civil Penalty \$2500.00

Fine \$400.00

- 2) Persons cited are allowing the operation of Sanders Court in an accessory building on the subject property without permits or final inspections.

Maximum Civil Penalty \$1000.00

Fine Not subject to fine amount.

You may avoid paying the civil penalty by abating the violation(s) and paying a total fine of \$400.00. If you have questions regarding how to abate the violation(s) contact Clackamas County Code Enforcement at the number listed below. Please be advised a \$75 monthly administrative fee is being assessed.

I hereby certify under penalties provided by ORS 153.990 that I have reasonable grounds to and do believe that the above person(s) committed or allowed to be committed the violation(s) described on this form.

Citation issued by: Andrea Hall

Date: June 3, 2025

Telephone No.: 503-742-4467

Department Initiating Enforcement Action: Code Enforcement

PLEASE READ CAREFULLY!

You have been cited for the violation(s) of law stated on the front of this form. You MUST exercise ONE of the following options within fifteen calendar days of the date of this citation.

If you fail to exercise one of these options within fifteen calendar days of the citation date, the County may request a hearing before the Code Enforcement Hearings Officer following which you may be ordered to pay the maximum civil penalty and abate the violation.

Options:

1. Abate the violation and pay the fine. Sign the statement of Understanding below and deliver or mail this form, together with a check or money order payable to Clackamas County in the amount of the fine to:
Clackamas County Code Enforcement Section
150 Beavercreek Rd.
Oregon City, OR 97045
2. Request a hearing in writing. You may request a hearing to contest the violation(s) alleged. A written request for a hearing must be mailed to Clackamas County at the address listed above or sent to codeenforcement@clackamas.us.

A request for hearing must contain all of the following information:

- a. Your name and address;
- b. A copy of the citation or the Citation No. and Case No.; and,
- c. The description of the relief you are requesting.

At the hearing, an administrative fee may be assessed by the Hearings Officer in addition to civil penalty(ies) if the Hearings Officer concludes you are responsible for the violation. If a civil penalty is imposed the amount will likely exceed the fine amount on this citation.

STATEMENT OF UNDERSTANDING

I, the undersigned, do hereby acknowledge that I understand the following:

1. By paying the fine I admit the existence of the violation(s) alleged on this citation and my responsibility for it.
2. Paying the fine does not relieve me of my responsibility to correct the violation and to comply with all applicable laws.
3. Additional citations may be issued to me if I fail to correct the violation or violate other applicable laws.

Signature: _____ Date: _____

Address: _____

City, State, Zip

Contact Number: _____ Email: _____



Planning and Zoning
Department of Transportation and Development
Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

STAFF USE ONLY	
RECEIVED	
Aug 18 2025	
Clackamas County Planning & Zoning Division	Z0343-25
Staff Initials:	File Number:

Land use application for:

CONDITIONAL USE

Application Fee: \$7,735, unless for mining, then \$14,230. (+\$150 for expanded notification area if the property is in the AG/F, EFU, FF-10, FU-10, RA-1, RA-2, RC, RI, RR, RRFF-5, or TBR zone, + \$4,030 if Hydrogeologic Review is required)

APPLICANT INFORMATION			
Applicant name:	Applicant email:	Applicant phone:	
TOBIE SANDERS	TOBIE.SANDERS@gmail.com	503.957.2643	
Applicant mailing address:	City:	State:	ZIP:
16490 SW Brookman RD	STERLING	OR	97140
Contact person name (if other than applicant):	Contact person email:	Contact person phone:	
MATT SANDERS	SANDERS132@gmail.com	503.756.6729	
Contact person mailing address:	City:	State:	ZIP:
16490 SW Brookman RD	STERLING	OR	97140

PROPOSAL	
Brief description of proposal:	Pre-application conference file number:

SITE INFORMATION		
Site address:	Comprehensive Plan designation:	Zoning district:
16490 SW Brookman RD STERLING OR 97140		
Map and tax lot #:	Land area:	
Township: _____ Range: _____ Section: _____ Tax Lot: _____		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		
Adjacent properties under same ownership:		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		
Township: _____ Range: _____ Section: _____ Tax Lot: _____		

Printed names of all property owners:	Signatures of all property owners:	Date(s):
TOBIE SANDERS		7/15/2025
MATT SANDERS		
I hereby certify that the statements contained herein, along with the evidence submitted, are in all respects true and correct to the best of my knowledge.		
Applicant signature:	Date:	
	7/15/2025	

Conditional Use Narrative – ZDO Section 1203

Project Name / Address: 16490 SW Brookman Rd Sherwood, OR 97140

Applicant: Matt Sanders

1. Conditional Use Designation

The proposed use—a private indoor facility for basketball and volleyball training within the Sherwood community—is listed as a **Conditional Use** in the **Rural Residential Farm-Forest 5-Acre (RRFF-5)** zoning district, pursuant to **Table 316-1** of the Clackamas County Zoning and Development Ordinance (ZDO). This application is submitted in accordance with **Section 1203** of the ZDO and is consistent with the intent of the district by providing a low-impact, community-oriented recreational facility that is compatible with surrounding rural land uses.

2. Site Suitability

The subject property, located at 16490 SW Brookman Rd in the Rural Residential Farm-Forest 5-Acre (RRFF-5) district, is well-suited for the proposed private indoor basketball and volleyball training facility. The lot provides adequate dimensions and configuration to accommodate the existing 100'-3" by 80'-3" building, which meets all required setbacks (Front/W: 30'; Sides/N & S: 10'; Rear/E: 10') as confirmed in the approved plans.

The building is sited in the northern portion of the property on relatively flat terrain, allowing for safe access and operation while preserving the steep-slope areas in the southern half of the lot for natural open space. The parcel's size and layout support the proposed use without crowding the site or creating adverse impacts on adjacent properties.

Existing improvements include a steel-frame structure with concrete slab foundation, designed drainage, and compliant rain drain system, providing a stable and code-conforming base for the intended use.

3. Infrastructure Adequacy

The proposed use will be adequately served by existing and planned infrastructure:

- **Roads & Access:** The property has direct access from SW Brookman Rd, a public roadway with sufficient capacity to handle the anticipated traffic associated with training sessions and small group events. The driveway approach is designed for safe ingress and egress, with adequate sight distance for vehicles.
- **Parking & Circulation:** On-site parking is available adjacent to the facility, with ample room for vehicle turnaround to prevent backing movements onto the public roadway.
- **Water Supply:** Potable water is available on site via an existing well, with a hose connection currently in use for operational needs and basic facility maintenance.
- **Sanitary Wastewater:** Restroom facilities are currently provided via an on-site portable restroom unit, serviced regularly by a licensed sanitation provider to maintain health and safety standards. Future plans may include the installation of a permanent restroom facility, subject to county review and permitting.
- **Stormwater Management:** The approved foundation plans incorporate a rain drain system and site grading to direct stormwater away from the structure and toward designated drainage areas, preventing erosion and off-site impacts.

- **Electric & Communications:** Electric service is available and connected to the building, with capacity to support lighting, HVAC, and operational equipment. Communication services are available via existing providers in the area.
- **Emergency Services:** The property is within the service area of Clackamas County Fire District and local law enforcement, with direct road access for emergency response.

The existing infrastructure meets applicable county standards and will safely and efficiently serve the proposed conditional use without the need for substantial upgrades.

4. Compatibility with Surroundings

The proposed private indoor basketball and volleyball training facility will not alter the character of the surrounding rural area in a manner that substantially limits, impairs, or precludes the use of surrounding properties for their primary purposes. The facility is located entirely within an existing building that meets all required setbacks (Front/W: 30'; Sides/N & S: 10'; Rear/E: 10'), providing a physical buffer from neighboring properties.

Because activities occur indoors, noise impacts will be minimal and contained within the structure. Lighting will be limited to the building interior and exterior entry areas, with no spillover onto adjacent properties.

Traffic generated by the use will be modest, consisting primarily of small group training sessions and occasional events. The anticipated traffic volume will not exceed the capacity of SW Brookman Rd, and the site's parking area accommodates vehicles without overflow onto public rights-of-way.

The use will not affect the ability of surrounding properties to conduct agricultural, forestry, or residential activities. No emissions, odors, or outdoor operations are proposed. The existing landscaping and open areas will remain, helping to maintain the rural visual character of the area.

5. Comprehensive Plan Alignment

The proposed private indoor basketball and volleyball training facility is consistent with the applicable goals and policies of the Clackamas County Comprehensive Plan, including but not limited to:

- **Goal 6 – Land Use and Rural Development:** Supports the provision of community services and facilities in rural areas when such uses are compatible with surrounding rural land uses. This project utilizes an existing structure and preserves surrounding open space, ensuring compatibility with the rural setting.
- **Goal 9 – Economic Development:** Encourages uses that strengthen the county's economic base and provide services to residents. The facility provides a locally based training and recreation option, reducing the need for residents to travel long distances for similar services.

- **Goal 11 – Public Facilities and Services:** Promotes efficient use of existing infrastructure and facilities. The project uses existing utilities, access points, and parking, minimizing the need for new public infrastructure.
- **Goal 12 – Transportation:** Ensures that new uses are supported by adequate transportation facilities. The site's location on SW Brookman Rd and its modest traffic generation will not negatively impact the capacity or safety of the existing road network.

By meeting these goals, the project aligns with the county's vision for compatible, community-serving uses in rural areas.

6. Compliance with Other Applicable Requirements

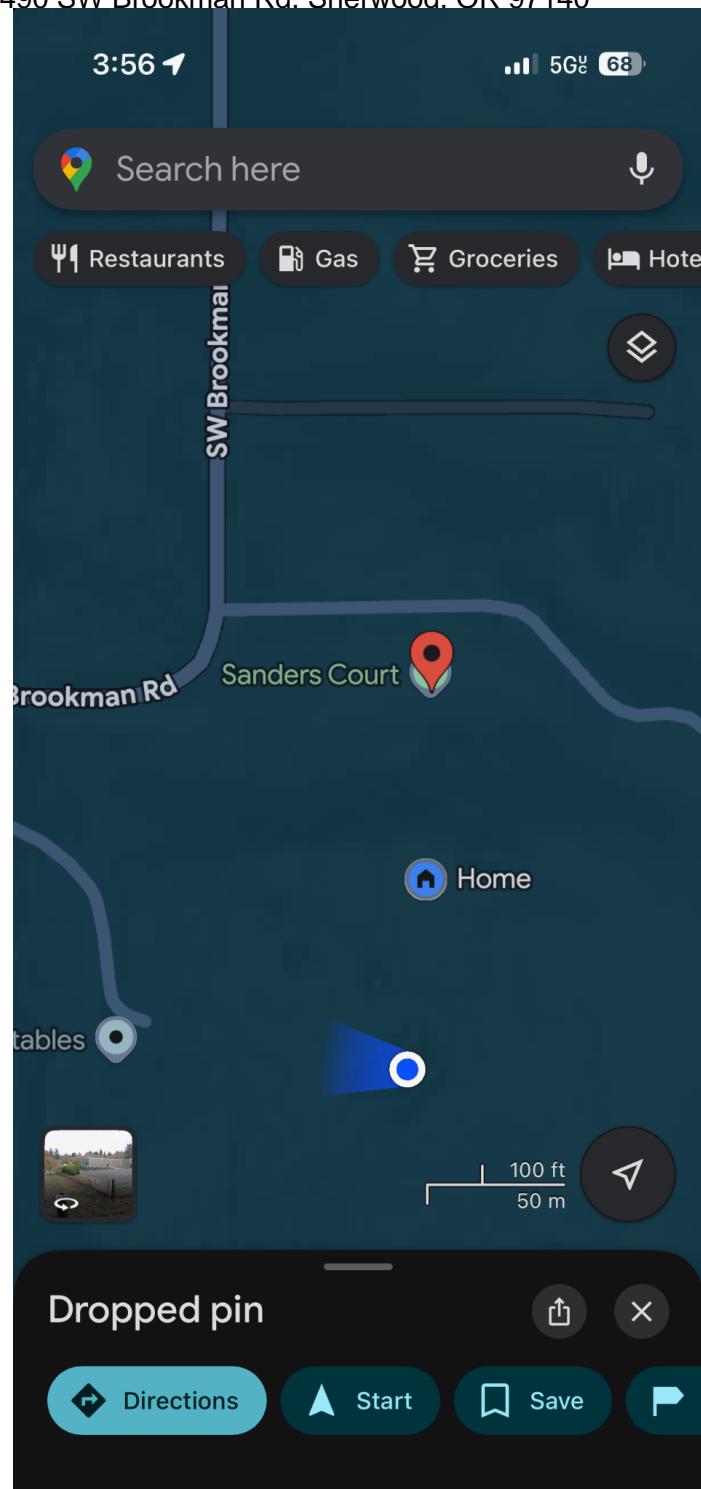
The proposed use complies with all applicable provisions of the **Rural Residential Farm-Forest 5-Acre (RRFF-5)** zoning district and relevant sections of the Clackamas County Zoning and Development Ordinance (ZDO), including:

- **RRFF-5 Dimensional Standards (ZDO Section 315, Table 1):** The existing building meets or exceeds all setback requirements (Front/W: 30'; Sides/N & S: 10'; Rear/E: 10') and is sited entirely outside areas of steep slope. Maximum height and lot coverage standards are met.
- **Section 800 – Special Use Requirements:** No special use requirements apply beyond those addressed in this application.
- **Section 1000 – Development Standards:** The project meets applicable development standards, including access and circulation (Section 1007), landscaping (Section 1009), parking (Section 1015), utilities (Section 1006), and stormwater management. Utilities are on-site and functional, including water via well connection and sanitary service via regularly serviced portable restroom facilities.
- **Overlay Districts:** The property is not located within any overlay zoning district that would impose additional requirements, and there are no protected streams or wetlands on the subject property.

Through compliance with these provisions, the proposed use satisfies ZDO Section 1203.03(F).

Vicinity Map – Conditional Use Application (ZDO 1203)

Subject Property: 16490 SW Brookman Rd, Sherwood, OR 97140



Steel Building

16490 SW Brookman Rd
Sherwood OR 97140

100'

SPECIAL INSPECTION IS REQUIRED

REFERENCE SHEET A2 OF THE
CONSTRUCTION DOCUMENTS AND THE
SPECIAL INSPECTIONS AGREEMENT FOR
ADDITIONAL INFORMATION

RAIN DRAIN SYSTEM REQUIRED
FOR THIS STRUCTURE
OBTAIN REQUIRED
PLUMBING PERMIT

- All open space for
recreation area

- No HVAC System will be install

Refer to attached plan check sheets for
numbers marked in red. All items on the
checklist apply, even if not specifically
marked on the plans.

Current Oregon Codes
are available for
viewing online at:
www.oregonbcd.org



THESE PLANS HAVE BEEN
REVIEWED AND ARE

APPROVED

THE APPROVAL OF THESE PLANS SHALL
NOT BE CONSTRUED TO BE A PERMIT
FOR ANY VIOLATION OF ANY
REQUIREMENT OF THIS COUNTY

PERMIT # B0000622

DATE 07/13/22

THESE PLANS SHALL BE ON THE JOB
FOR ALL REQUESTED INSPECTIONS





INDEX

A1	—	ANCHOR BOLT SETTING PLAN
A2	—	ANCHOR BOLT DETAILS & REACTIONS
E1	—	FRAMING/SHEETING ELEVATIONS LINE A
E2	—	FRAMING/SHEETING ELEVATIONS LINE F
E3	—	FRAMING/SHEETING ELEVATIONS LINE 1
E4	—	FRAMING/SHEETING ELEVATIONS LINE 5
E5	—	ROOF FRAMING PLAN
E6	—	RIGID FRAME ELEVATION LINES 2, 3 & 4
G1	—	GENERAL DETAILS
G2	—	GENERAL DETAILS/WALKDOOR DETAILS & EXTERIOR SHEETING & FASTENER APPLICATION

SUNWARD STEEL BUILDINGS

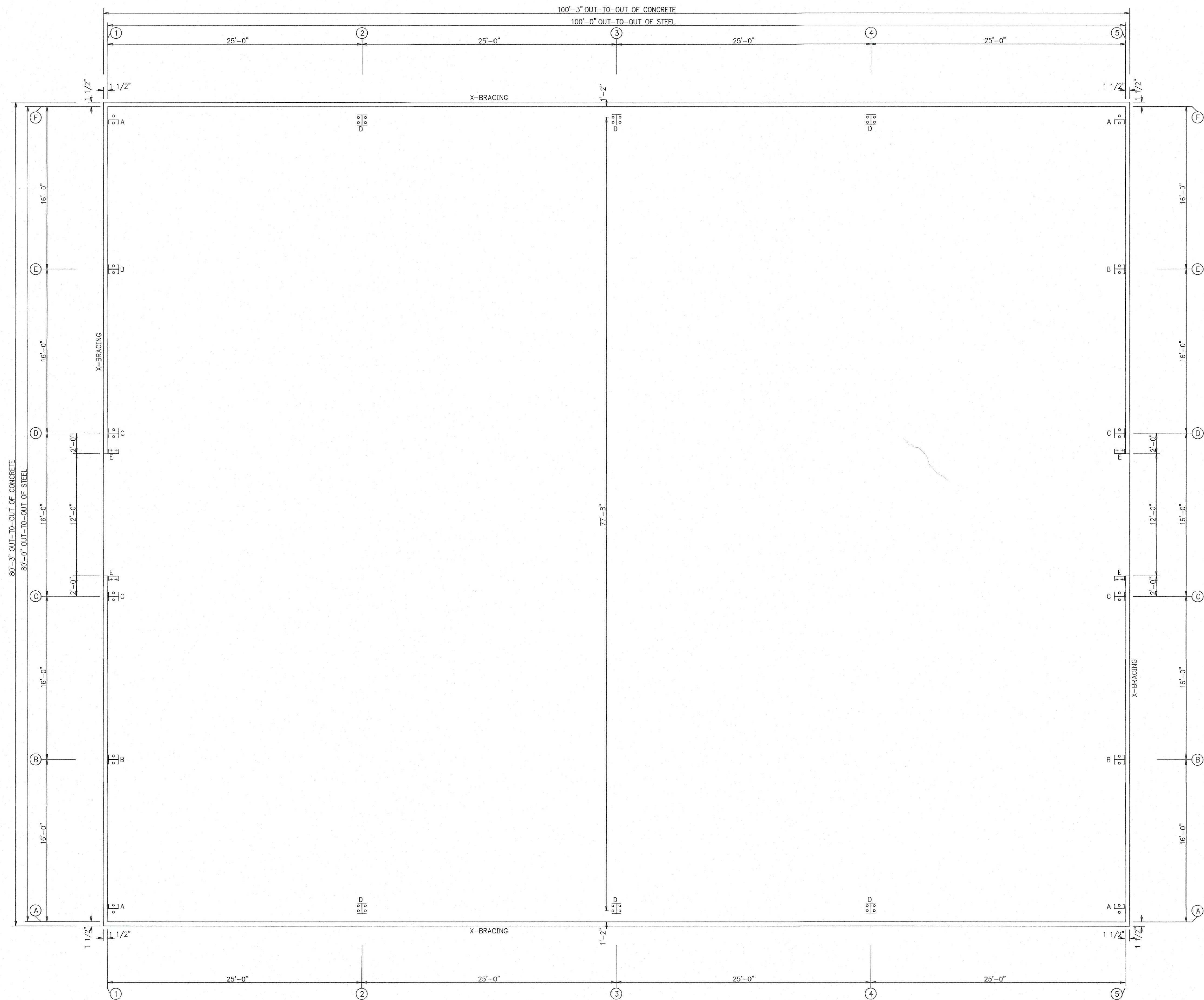
6800 E. Hampden Ave Denver, CO 80224 800-964-8335 Fax 701-252-1988

FOR CONSTRUCTION

NOTE: THESE PLANS ARE THE FINAL COMPLETED
DRAWINGS AND ARE TO BE USED FOR THE
ERECTION OF THIS BUILDING.

	△	
	△	
	△	
	Sunward Steel Buildings	
	BUYER: Matt Sanders	DRAWN BY: VB
CUST.: Matt Sanders	2/17/21	
SITE: Sherwood, OR	CHECK BY: RDC	
DESCR: See Elevations	7/16/21	
SCALE: NONE	DES. ENG. SS	
P.O.: 102027	7/16/21	
	SHEET NO. 11 OF 1	

○ Dia= 3/4"
+ Dia= 1/2"



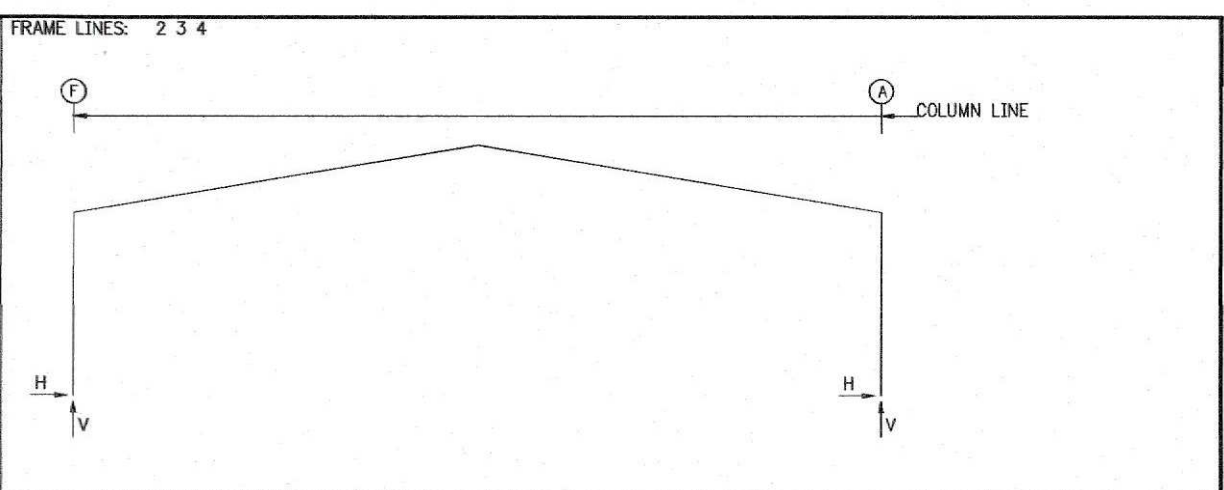
ANCHOR BOLT SETTING PLAN
NOTE: ALL BASE PLATES AT ELEVATION 100'-0" (UNLESS NOTED)

VERIFY WIDTH AND LENGTH DIMENSIONS		MANUFACTURER (ND FACILITY) IS AN APPROVED FABRICATOR WITH THE FOLLOWING CERTIFICATIONS. IAS AC472 # MB-216 & MB-104 CSA A660 / CSA W47.1 DIVISION 2 CLARK COUNTY, NV/ # 248, SAN BERNARDINO COUNTY, CA/ # 285 CITY OF HOUSTON, CITY OF SEATTLE CITY OF LOS ANGELES TYPE I FABRICATOR / LWS / HSS / #1015
CHECK YOUR ANCHOR BOLT SETTING PLAN TO MAKE CERTAIN THAT ALL THE DIMENSIONS SHOWN AGREE WITH THE DIMENSIONS ON YOUR VERIFICATION. DIMENSIONS SHOWN ON THE VERIFICATION REFER TO STEEL LINES (OUTSIDE FACE OF GIRTS/FRAMING) OF THE BUILDING.		
SHEETING DESCRIPTION		MANUFACTURER (SC FACILITY) IS AN APPROVED FABRICATOR WITH THE FOLLOWING CERTIFICATIONS. IAS AC472 # MB-216 & MB-105 CERTIFICATE OF COMPETENCY: MIAMI-DADE COUNTY
ROOF SHEETING: 26 GA. HI-RIB	COLOR: GA = Galvalume Plus	
WALL SHEETING: 26 GA. HI-RIB	COLOR: CH = Charcoal Gray	
GUTTER & DOWNSPOUT COLOR: MG = Ash Gray		
CABLE, EAVE, F.O. & CORNER TRIM COLOR: MG = Ash Gray		
BASE TRIM COLOR: CH = Charcoal Gray		

3/29/21

EXPIRATION DATE: 1/30

Sunward Steel Buildings	
BUYER: Matt Sanders	DRAWN BY: VB
CUST.: Matt Sanders	CHECK BY: BLM
SITE: Sherwood, OR	DES. ENG. SS
DESCR.: See Elevations	SCALE: NONE
P.O.: 102027	SHEET NO. 11 OF 2



ENDWALL COLUMN:		MAXIMUM REACTIONS					
Form Line	Col Line	Column Reactions ^a					
		Load ^b	Hmin ^c	Vmin ^d	Hmin ^e	Vmin ^f	Vmin ^g
1	F	7	0.0	-1.5	7	0.0	-1.5
1	E	9	2.4	-8.2	10	-2.2	-6.2
1	D	7	2.8	-4.2	12	-2.5	-4.0
1	C	14	0.0	6.7	12	2.8	-4.2
1	B	15	0.0	6.7	14	2.8	-3.7
1	A	16	0.0	5.4	16	2.4	-3.2
2	F	15	0.0	-1.5	16	0.0	-1.5
2	E	7	0.0	-1.5	7	0.0	-1.5
2	D	2.4	-8.2	10	-2.2	-6.2	
2	C	7	2.8	-4.2	12	-2.5	-4.0
2	B	14	0.0	6.7	12	2.8	-4.2
2	A	15	0.0	6.7	14	2.8	-3.7
3	E	2.4	-8.2	10	-2.2	-6.2	
3	D	7	2.8	-4.2	12	-2.5	-4.0
3	C	14	0.0	6.7	12	2.8	-4.2
3	B	15	0.0	6.7	14	2.8	-3.7
3	A	16	0.0	5.4	16	2.4	-3.2
4	F	16	0.0	-1.5	16	0.0	-1.5

Semic_Sa	=	0.039
Semic_Sb	=	0.734
Semic_SaB	=	0.419
Semic_SbB	=	0.792
Semic_SbF	=	1.00
Importance = Semic	=	1.00
Semic_Response Coeff. Ca	=	0.00
Response Modification Coef.	=	3.25
Adjusted Basic Wind Speed	=	0.772
Transverse Base Shear (Vips)	=	10.56
Slab Class	=	1
Seismic Design Category	=	D
Analysis Period	=	
Equivalent Lateral Force	=	
Seismic Force Resisting System	=	
Slab-Dryin Moment Frame (OMF)	=	
Slab-Dryin Concentrically Braced Frame (CBFR)	=	

5. Loading conditions

- 1 Dead+Collateral+Snow
- 2 0.6Dead+0.6Wind_Left
- 3 0.6Dead+0.6Wind_Right
- 4 0.6Dead+0.6Wind_Left
- 5 0.6Dead+0.6Wind_Right
- 6 Dead+Collateral+SNOW
- 7 0.6Dead+0.6Wind_Left+0.6Wind_Left
- 8 Dead+Collateral+H1N1N_2
- 9 0.6Dead+0.6Wind_Left+0.6Wind_Left
- 10 0.6Dead+0.6Wind_Left+0.6Wind_Pressure
- 11 0.6Dead+0.6Wind_Right+0.6Wind_Right
- 12 0.6Dead+0.6Wind_Right+0.6Wind_Pressure
- 13 0.6Dead+0.6Wind_Left+0.6Wind_Left+0.7SEWind_Sl
- 14 0.6Dead+0.6Wind_Right+0.6Wind_Right+0.7SEWind_Sl
- 15 0.6Dead+0.6Wind_Suction+0.6Wind_Left
- 16 0.6Dead+0.6Wind_Suction+0.6Wind_Left
- 17 0.6Dead+0.7Collateral+0.6Semic_Left+0.7SEWind_Sl
- 18 0.6Dead+0.7Collateral+0.6Semic_Left+0.7SEWind_Sl

WALKDOOR AND WINDOW	
1) SOME DETAILS SHOWN MAY NOT APPLY TO YOUR BUILDING. REFER TO YOUR VERIFICATION FOR THE OPTIONS WHICH ARE INCLUDED.	
2) FIELD LOCATE WALKDOOR IN ONE FOOT INCREMENTS STARTING AT STEEL LINE. EXAMPLE: 1'-8", 2'-8", 3'-8", ETC.	

3/4"

See Plan

DETAIL C

Dia= 3/4"

See Plan

DETAIL D

Refer to OSSC Section/Table 1705.2

INSPECTIONS TABLE AISC 360 Chapter N/AISC 341 Chapter J Inspection Tasks Prior to Bolting	
Inspection Tasks Prior to Bolting	QA
Manufacturer's certifications available for fastener materials	P
Fasteners marked in accordance with ASTM requirements	O
Proper fasteners selected for the joint detail (grade, type, bolt length if threads are to be excluded from shear plane)	O
Proper bolting procedure selected for joint detail	O
Connecting elements, including the appropriate faying surface condition and hole preparation, if specified, meet applicable requirements	O
Pre-installation verification testing by installation personnel observed and documented for fastener assemblies and methods used	O/D
Proper storage provided for bolts, nuts, washers and other fastener components	O

INSPECTIONS TABLE AISC 360 Chapter N/AISC 341 Chapter J Inspection Tasks During Bolting	
Inspection Tasks During Bolting	QA
Fastener assemblies, of suitable condition, placed in all holes and washers (if required) are positioned as required	O
Joint brought to the snug-tight condition prior to the pretensioning operation	O
Fastener component not turned by the wrench prevented from rotating	O
Fasteners are pretensioned in accordance with the RCSC Specification, progressing systematically from the most rigid point toward the free edges	O

INSPECTIONS TABLE AISC 360 Chapter N/AISC 341 Chapter J Inspection Tasks After Bolting	
Inspection Tasks After Bolting	QA
Document acceptance or rejection of bolted connections	P/D

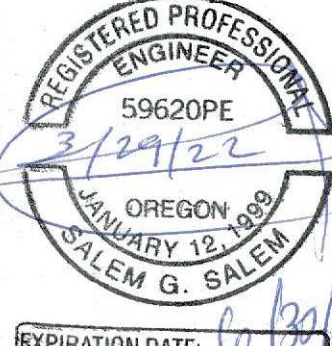


Inspection Tasks Letter Key
O = Observe these items on a random, daily basis
D = Document acceptance or rejection of bolted members
P = These inspections shall be performed for each bolted connection, and each item prior to acceptance

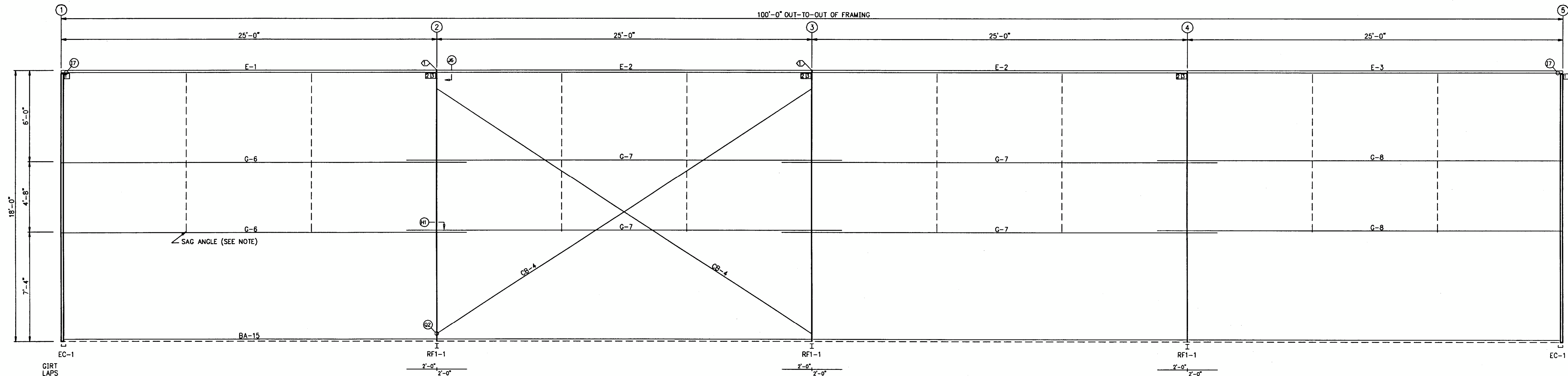
[illegible]

FIELD LOCATED WINDOW DETAIL

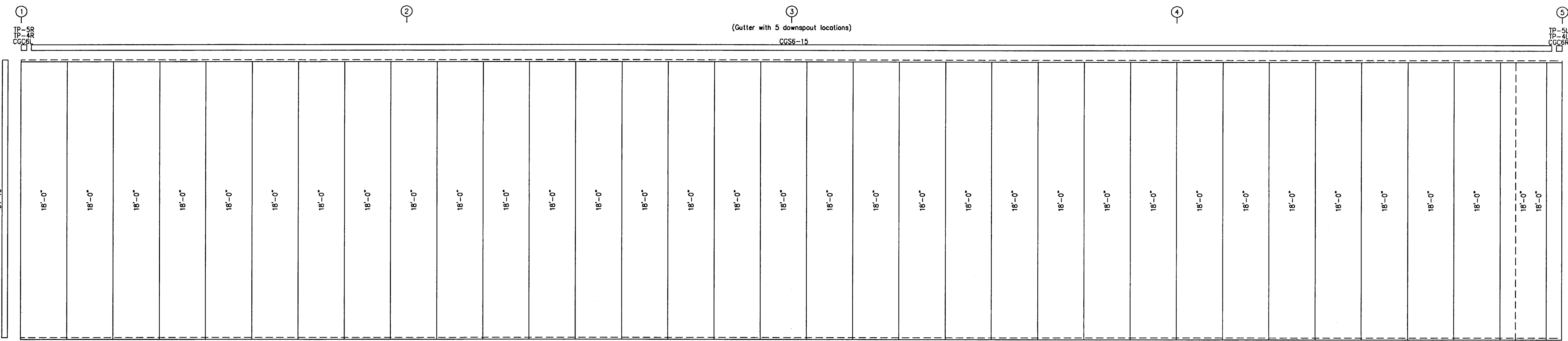
- USE THIS DETAIL FOR OTHER FRAMED OPENINGS THAT ARE SET ON CONCRETE.
- SEE NOTE #3 FOR ANCHOR BOLT REQUIREMENTS.

DETAIL Z

WALKDOOR AND WINDOW FRAMED OPENING NOTES															
1) SOME DETAILS SHOWN MAY NOT APPLY TO YOUR BUILDING. REFER TO YOUR ARCHITECT FOR THE OPTIONS WHICH ARE INCLUDED.	3) USE (4) 1/2" x 3 3/4" EXPANDED ANCHORS OR EQUAL PER OPENING, MINIMUM EMBEDMENT 2 3/4". IT IS SUGGESTED TO USE: HILTI KWIK BOLT 3 (KB3) IN COMPLIANCE WITH ICC-ES ESR-2302.														
2) FIELD LOCATE WALKDOOR IN ONE FOOT INCREMENTS STARTING AT STEEL POINT. EXAMPLE: 1'-0", 2'-0", 3'-0", ETC.															
	  <div style="text-align: center;"><h2>Sunward Steel Buildings</h2></div> <table><tr><td>BUYER: Matt Sanders</td><td>DRAWN BY: <u>VB</u></td></tr><tr><td>CUST.: Matt Sanders</td><td><u>2/18/21</u></td></tr><tr><td>SITE: Sherwood, OR</td><td>CHECK BY: <u>BLW</u></td></tr><tr><td>DESCR.: See Elevations</td><td><u>2/18/21</u></td></tr><tr><td>SCALE: NONE</td><td>DES. ENG.: <u>SB</u></td></tr><tr><td>P.O.: 102027</td><td><u>2/16/21</u></td></tr><tr><td></td><td>SHEET NO. <u>22</u> OF <u>25</u></td></tr></table>	BUYER: Matt Sanders	DRAWN BY: <u>VB</u>	CUST.: Matt Sanders	<u>2/18/21</u>	SITE: Sherwood, OR	CHECK BY: <u>BLW</u>	DESCR.: See Elevations	<u>2/18/21</u>	SCALE: NONE	DES. ENG.: <u>SB</u>	P.O.: 102027	<u>2/16/21</u>		SHEET NO. <u>22</u> OF <u>25</u>
	BUYER: Matt Sanders	DRAWN BY: <u>VB</u>													
	CUST.: Matt Sanders	<u>2/18/21</u>													
	SITE: Sherwood, OR	CHECK BY: <u>BLW</u>													
DESCR.: See Elevations	<u>2/18/21</u>														
SCALE: NONE	DES. ENG.: <u>SB</u>														
P.O.: 102027	<u>2/16/21</u>														
	SHEET NO. <u>22</u> OF <u>25</u>														



ELEVATION AT: FRAME LINE A



ELEVATION AT: FRAME LINE A

BT-15

26 Gg. HR

TRIM TABLE			
FRAME LINE A		LENGTH	DETAIL
CGS6-15	182"		TRIM_61
CGC6L			TRIM_81
CGC6R			TRIM_81
CT-10	122"		TRIM_30
BT-15	182"		TRIM_5

SPECIAL BOLTS					
Q ID	QUAN	TYPE	DIA	LENGTH	WASH
1	8	A325	1/2"	1 1/4"	0

CONNECTION PLATES	
FRAME LINE A	
Q ID	MARK / PART
1	FC065
2	FC061
3	ESA-1

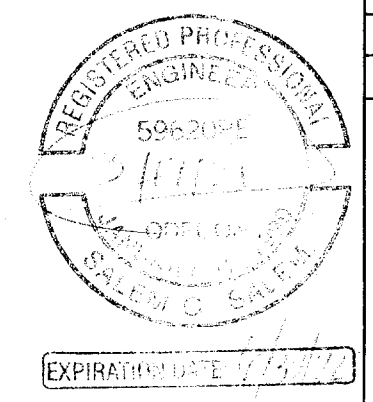
MEMBER TABLE	
FRAME LINE A	
MARK	PART
E-1	10C16
E-2	10C16
E-3	10C16
G-6	10Z16
G-7	10Z16
G-8	10Z16
CB-4	1/2" CABLE

IMPORTANT NOTE!
TRIM OVERLAP TO BE 1/2" (MAXIMUM). REFER TO PAGE 32 OF THE BUILDING ERECTION MANUAL.

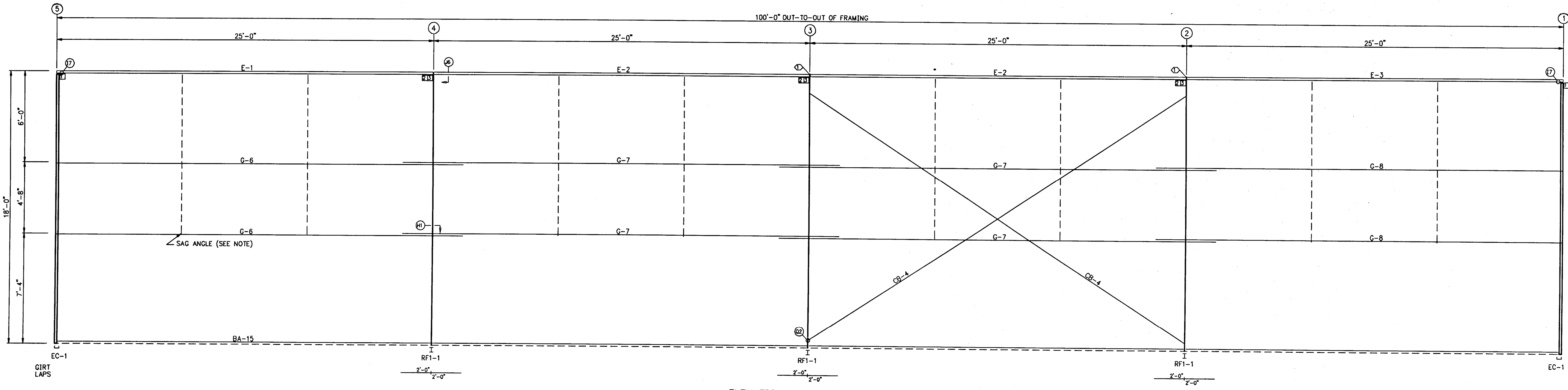
SAG ANGLE NOTES:
(MARK: PBA-10, SIZE: 1"x1"x16 GAGE)
IF SHOWN, LOCATE PBA-10 AS INDICATED ON DRAWINGS. ONE ROW IS AT MIDPOINT OF BAY, TWO ROWS ARE AT 1/3 POINTS OF BAY, THREE ROWS ARE AT 1/4 POINTS OF BAY.

SHEETING NOTES:
1) WALL SHEETS TO BE FIELD CUT AT FRAMED OPENINGS AS REQUIRED.
2) ROOF PITCHES GREATER THAN 1:12 REQUIRE WALL SHEETS TO BE FIELD CUT AT THE SLOPE OF BUILDING.

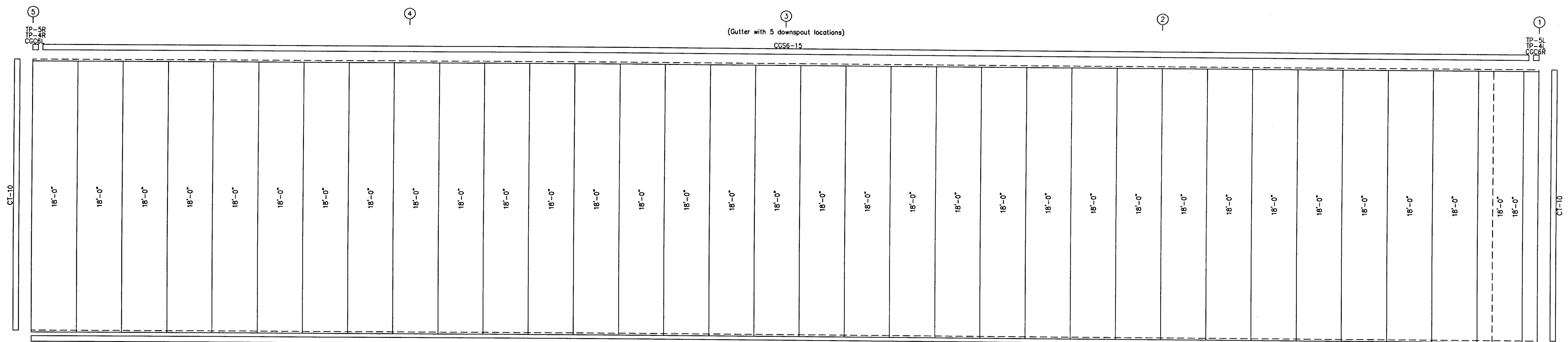
LEGEND	AB- ANGLE BRACE	ER- ENDWALL RAFTER	RB- ROOF BEAM	ZA- 1/2 SHEETING ANGLE	N.S. NEAR SIDE
	BA- BASE/SHEETING ANGLE	FB- FLANGE BRACE	RCH- RAKE CHANNEL	A.S. AS SHOWN	O.C. ON CENTER
	BCH- BASE CHANNEL	FC- FRAMING CLIP	RF- RIGID FRAME	A.F.F. ABOVE FINISH FLOOR	O.H. OPPOSITE HAND
	BM- BEAM	G- GIRT	SA- SHEETING ANGLE	Q- BUILDING LINE	R.O. ROUGH OPENING
	BR- BRACKET	H- HEADER/SILL	SC- SIDEWALL/STUB/ SOLDIER COLUMN	Q- CENTER LINE	SIM. SIMILAR
	BS- BOSS	J- JAMB	SJ- SUBJAMB	R- STEEL LINE	S- STEEL LINE
	CB- CROSS BRACE	MC- MEZZANINE BEAM	SR- SUPPORT RAFTER	T- FINISH FLOOR	T.B.D. TO BE DETERMINED
	CL- SPECIAL CLIP	MC- MEZZANINE/MANSARD COLUMN	T- TRIM	F.O. FRAMED OPENING	T.O.B. TOP OF BEAM
	DH- DOOR HEADER	NJ- MEZZANINE JOIST	TC- TUBE COLUMN	F.S. FAR SIDE	T.O.J. TOP OF JOIST
	DJ- DOOR JAMB	P- PURLIN	TS- SPECIAL TRIM	N.A. NOT APPLICABLE	TYP. TYPICAL
	E- EAVE STRUT	PC- PIPE/PARAPET COLUMN	TS- TUBE STRUT	N.B.M. NOT BY METAL BUILDING MANUFACTURER	U.N. UNLESS NOTED
	EE- EAVE EXTENSION	PS- PURLIN/PIPE STRUT	WF- WIND FRAME		
	EB- EXTENSION BEAM				



Sunward Steel Buildings
BUYER: Mott Sanders
CUST.: Mott Sanders
SITE: Sherwood, OR
DESCR: See Elevations
SCALE: NONE
P.O.: 102027
DRAWN BY: VB
CHECK BY: 2/17/21
DES. ENG.:
SHEET NO. E1 OF 6



ELEVATION AT: FRAME LINE F



ELEVATION AT: FRAME LINE F
28' Gb. HR

TRIM TABLE				
ITEM	PART	LENGTH	DETAIL	
1	CCS6-15	182'	TRIM_81	
2	CCS6L		TRIM_81	
3	CCS6R		TRIM_81	
4	CT-10	122"	TRIM_30	
5	BT-15	182'	TRIM_5	

SPECIAL BOLTS				
QTY	QUAN	TYPE	DIA	LENGTH WASH
1	8	A325	1/2"	1 1/4" 0

CONNECTION PLATES	
ITEM	MARK/PART
1	FC065
2	FC081
3	ESA-1

MEMBER TABLE	
MARK	PART
E-1	10016
E-2	10016
E-3	10016
G-6	10216
G-7	10216
G-8	10216
CB-4	1/2" CABLE

IMPORTANT NOTE!
TRIM OVERLAP TO BE 1/2" (MAXIMUM). REFER TO PAGE 32 OF THE BUILDING ERECTION MANUAL.

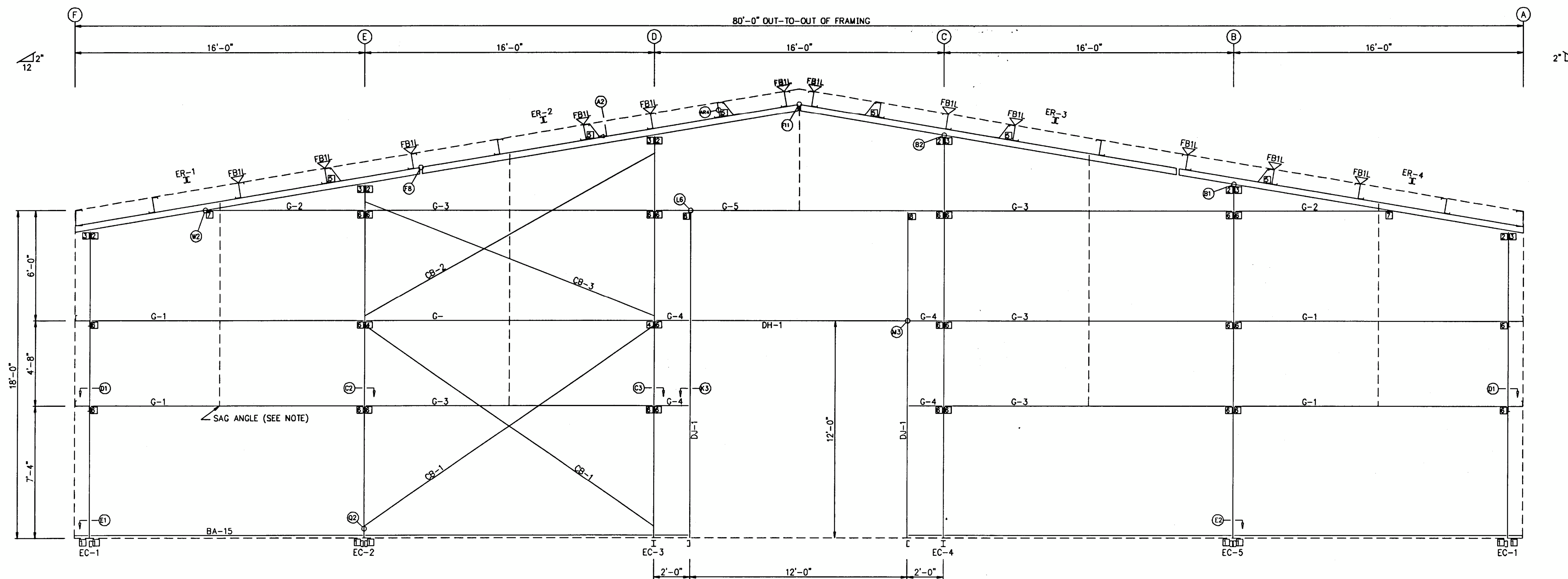
SAG ANGLE NOTES:
(MARK: PBA-10, SIZE: 1"x1"x16 GAGE)
IF SHOWN, LOCATE PBA-10 AS INDICATED ON DRAWINGS. ONE ROW IS AT MIDPOINT OF BAY. TWO ROWS ARE AT 1/3 POINTS OF BAY. THREE ROWS ARE AT 1/4 POINTS OF BAY.

SHEETING NOTES:
1) WALL SHEETS TO BE FIELD CUT AT FRAMED OPENINGS AS REQUIRED.
2) ROOF PITCHES GREATER THAN 1:12 REQUIRE WALL SHEETS TO BE FIELD CUT AT THE SLOPE OF BUILDING.

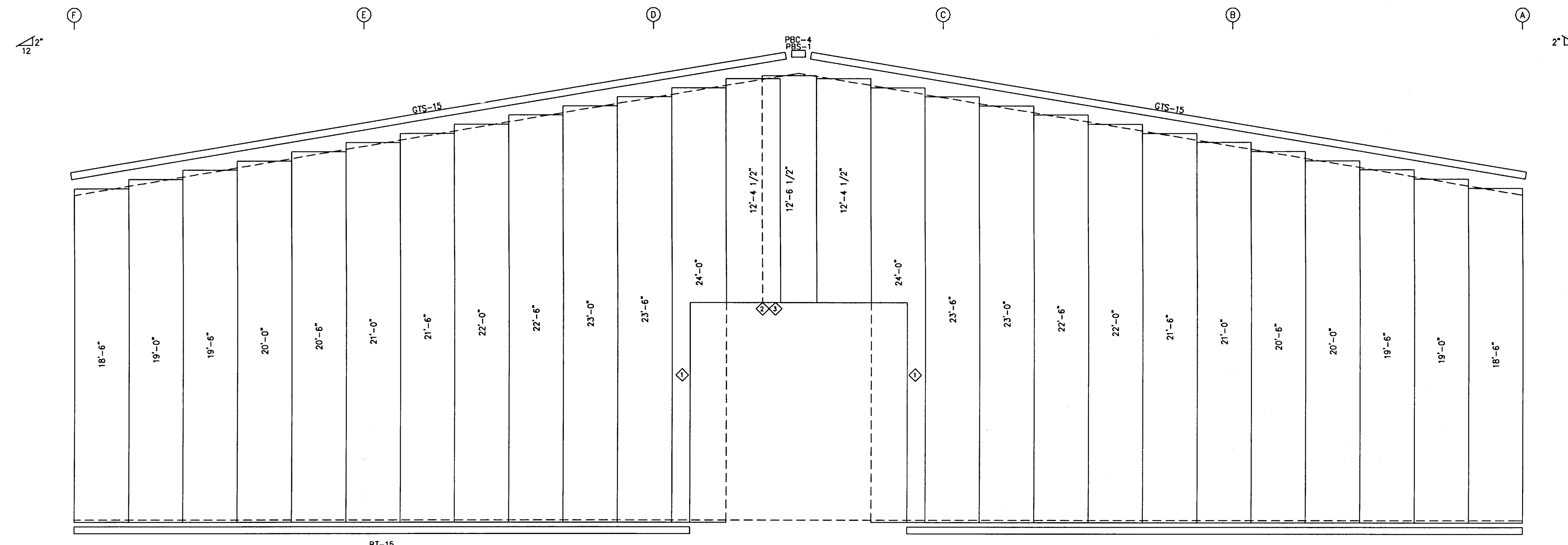
Sunward Steel Buildings

BUYER: Matt Sanders
CUST.: Matt Sanders
SITE: Sherwood, OR
DESCR: See Elevations
SCALE: NONE
P.O.: 102027

DRAWN BY: VB
2/17/21
CHECK BY:
DES. ENG.:
SHEET NO. E2 OF 6



ELEVATION AT: LINE 1



ELEVATION AT: LINE 1
26 Co. HR

TRIM TABLE		
LINE 1	MATERIAL	LENGTH
1	GTS-15	182"
2	BT-15	182"
3	HT-158	182"
4	HT-158	182"
5	HT-158	182"
6	HT-158	182"
7	HT-158	182"
8	HT-158	182"

FLANGE BRACE TABLE		
LINE 1	MATERIAL	LENGTH
1	FBUL	14 3/4"

CONNECTION PARTS		
LINE 1	PART	MATERIAL
1	FC013	
2	FC126	
3	FC125	
4	FC038	
5	FC008	
6	FC033	
7	FC046	
8	FC087	

MEMBER TABLE		
LINE 1	PART	MATERIAL
1	EC-1	8C16
2	EC-2	8D14
3	EC-3	W08S42
4	EC-4	W08S42
5	EC-5	8D14
6	ER-1	8D14
7	ER-2	8D14
8	ER-3	8D14
9	ER-4	8D14
10	DJ-1	8C14
11	DH-1	8C16
12	G-1	8216
13	G-2	8216
14	G-3	8216
15	G-4	8216
16	G-5	8214
17	G-	8214
18	CB-1	5/16" CABLE
19	CB-2	5/16" CABLE
20	CB-3	5/16" CABLE

IMPORTANT NOTE!

TRIM OVERLAP TO BE 1/2" (MAXIMUM). REFER TO PAGE 32 OF THE BUILDING ERECTION MANUAL.

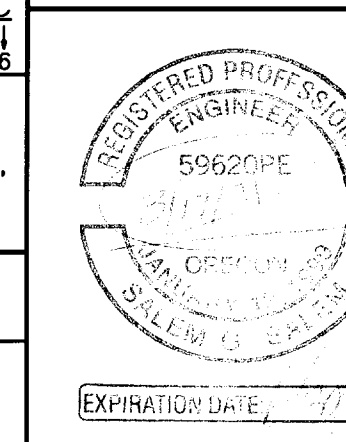
CROSS BRACING NOTE
GIRTS TO BE FIELD SLOTTED FOR CROSS BRACING AS REQUIRED SEE PAGE 14 OF THE BUILDING ERECTION MANUAL FOR PROCEDURE.

SAG ANGLE NOTES:
(MARK: PBA-10, SIZE: 1"x1"x16 GAGE)
IF SHOWN, LOCATE PBA-10 AS INDICATED ON DRAWINGS. ONE ROW IS AT MIDPOINT OF BAY, TWO ROWS ARE AT 1/3 POINTS OF BAY, THREE ROWS ARE AT 1/4 POINTS OF BAY.

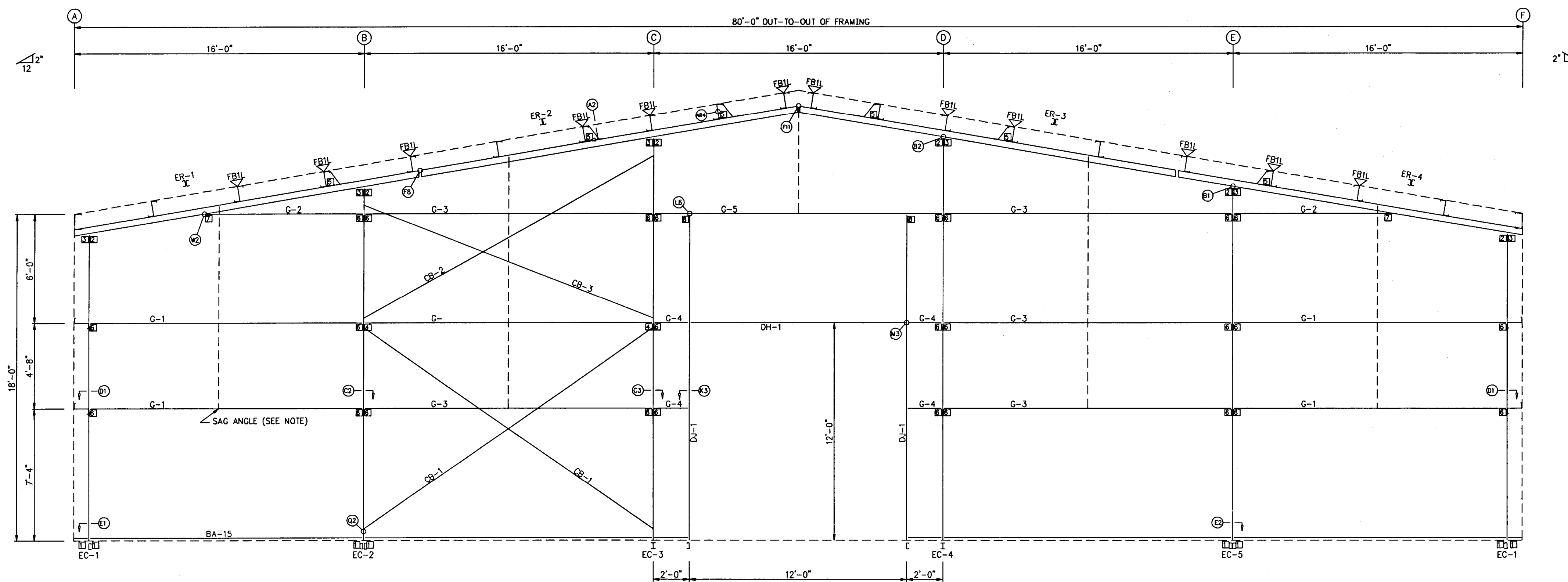
SHEETING NOTES:
1) WALL SHEETS TO BE FIELD CUT AT FRAMED OPENINGS AS REQUIRED.
2) ROOF PITCHES GREATER THAN 1:12 REQUIRE WALL SHEETS TO BE FIELD CUT AT THE SLOPE OF BUILDING.

BUILT-UP MEMBER ID, WHERE FORMAT IS: WAABCD
SHAPE = I
W = WELDED MEMBER TYPE
AA = MEMBER DEPTH IN INCHES
B = FLANGE WIDTH IN INCHES, 5=5", 6=6", 8=8", 10=10", 12=12"
C = FLANGE THICKNESS IN 1/16 INCH UNITS, 3=3/16", 4=1/4", 6=3/8", 8=1/2", 10=5/8", 12=3/4"
D = WEB THICKNESS IN 1/16 INCH UNITS, 2=.112", 3=.179", 4=.250", 5=.3125", 6=.375"

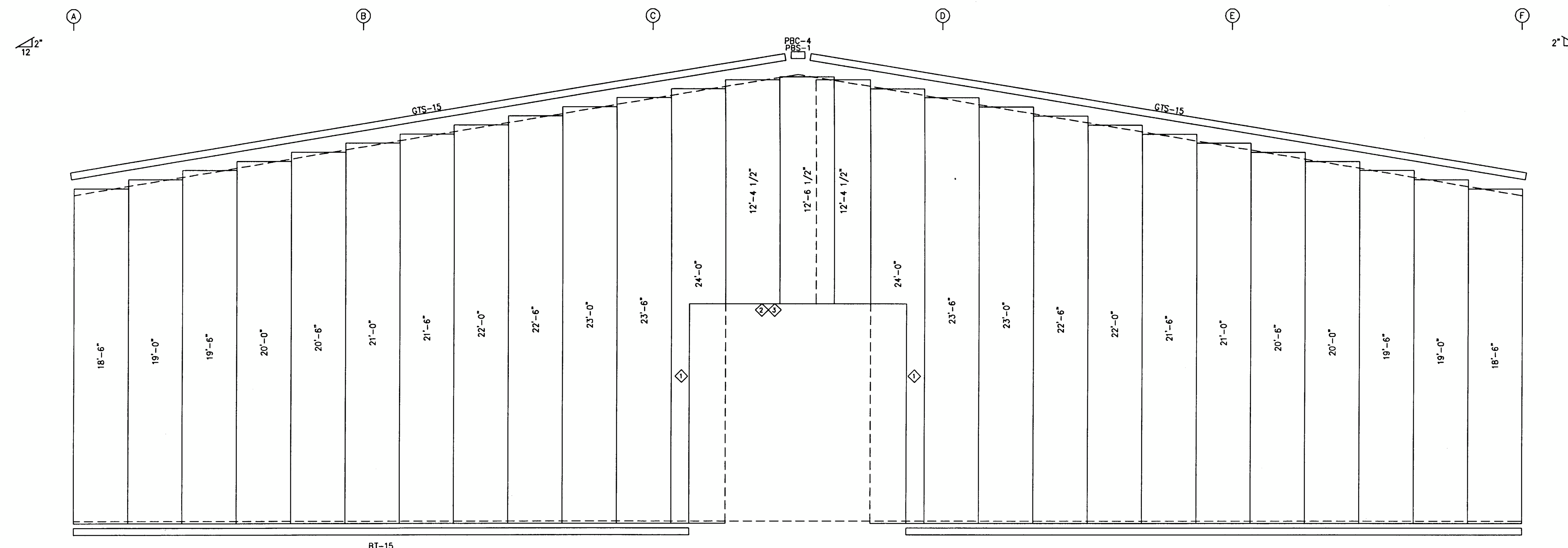
COLD FORMED MEMBER ID, WHERE FORMAT IS: ABCC
SHAPE = C, L or I
A = DEPTH IN INCHES: 4=4", 8=8", 10=10", 12=12"
B = MEMBER TYPE: C=Cee, Z=Zee, D=Back to Back Cee
(FLANGE WIDTH PER TYPE: 4Z=2 1/2", 8Z=2 3/4", 10Z=2 3/4", 12Z=2 3/4", 4C=2 1/2", 8C=3", 10C=3", 12C=3")
CC = MATERIAL GAGE (THICKNESS)
X-BRACING MEMBER ID, WHERE FORMAT IS: AABBBB
EXAMPLE: C80313
AA = X-BRACE TYPE: CB=CABLE, RB=ROD
BBBB = X-BRACE DIAMETER: 0313=3/8", 0375=7/8", 0500=1", 0625=1 1/4", 0750=1 1/2", 0875=1 3/4", 1000=2", 1125=2 1/4", 1250=2 1/2"



Sunward Steel Buildings
BUYER: Matt Sanders
CUST.: Matt Sanders
SITE: Sherwood, OR
DESCR.: See Elevations
SCALE: NONE
P.O.: 102027
DRAWN BY: VB
CHECK BY: 2/17/21
DES. ENG.:
SHEET NO. E3 OF 6



ELEVATION AT: LINE 5



ELEVATION AT: LINE 5
26 Co. HR

TRIM TABLE		
LINE 5	TRIM MATERIAL	LENGTH
1	GTS-15	182'
2	PBS-1	182'
3	BT-15	182'
4	HT-15	182'
5	HT-15	182'

FLANGE BRACE TABLE		
LINE 5	FLANGE PART	LENGTH
1	FBH	14 3/4'

CONNECTION PARTS		
LINE 5	CONNECTION PART	LENGTH
1	FC013	
2	FC126	
3	FC125	
4	FC038	
5	FC008	
6	FC033	
7	FC046	
8	FC087	

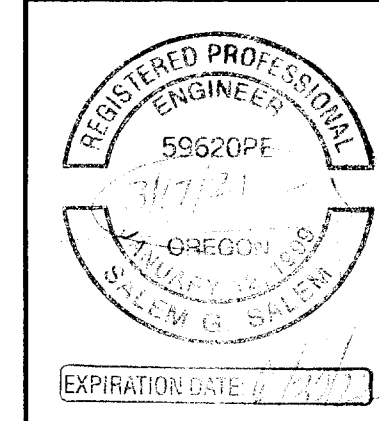
MEMBER TABLE		
LINE 5	MEMBER	MATERIAL
1	EC-1	8C16
2	EC-2	8D14
3	EC-3	W8X54
4	EC-4	W8X54
5	EC-5	8D14
6	ER-1	8D14
7	ER-2	8D14
8	ER-3	8D14
9	ER-4	8D14
10	DJ-1	8C14
11	DH-1	8C16
12	G-1	8Z16
13	G-2	8Z16
14	G-3	8Z16
15	G-4	8Z16
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2) ROOF PITCHES GREATER THAN 1:12 REQUIRE WALL SHEETS TO BE FIELD CUT AT THE SLOPE OF BUILDING.

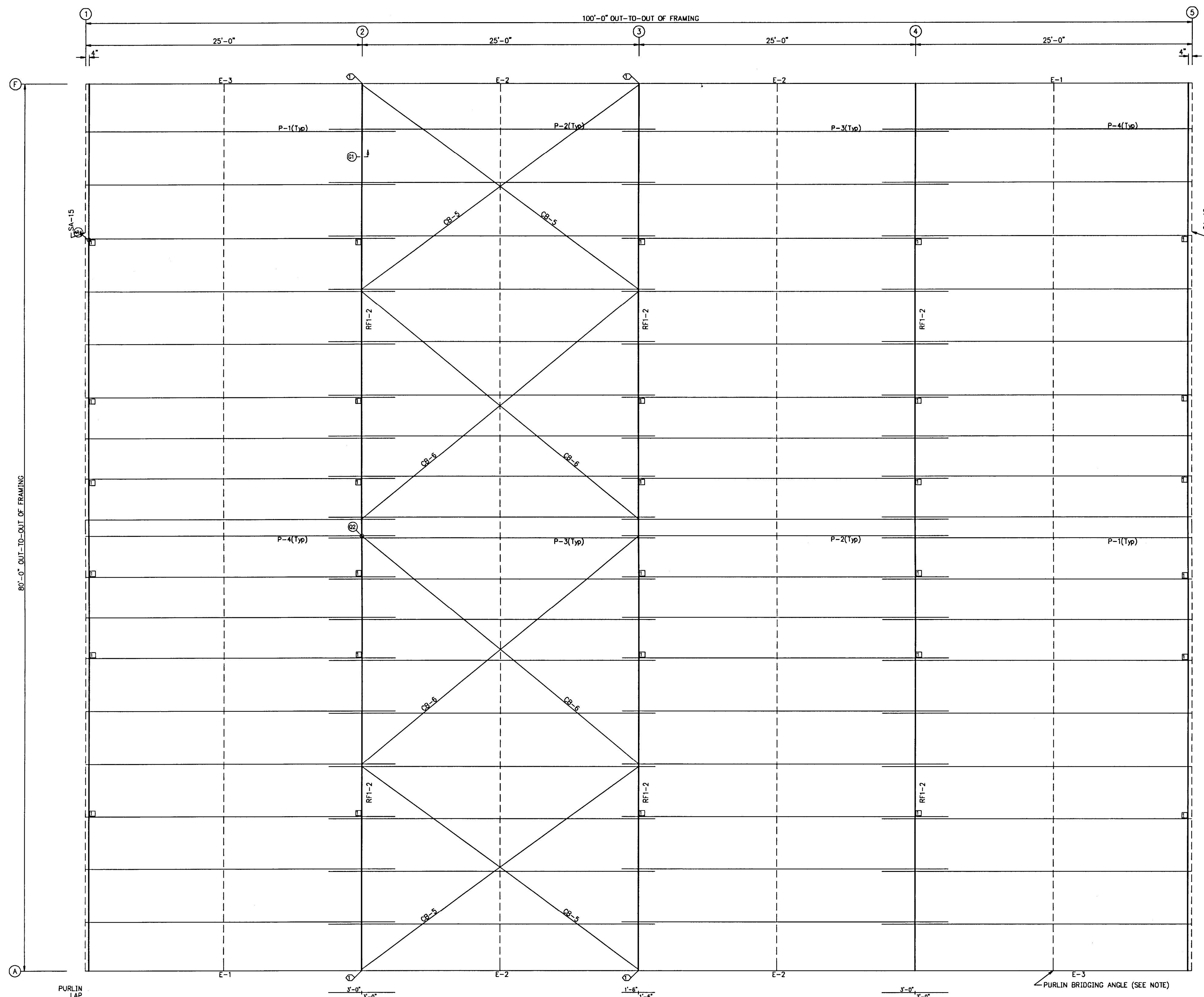


Sunward Steel Buildings
BUYER: Matt Sanders
CUST.: Matt Sanders
SITE: Sherwood, OR
DESCR.: See Elevations
SCALE: NONE
P.O.: 102027
DRAWN BY: VB
CHECK BY: VB
DES. ENG.: VB
SHEET NO. E4 OF 6

SPECIAL BOLTS					
ROOF PLAN					
Q ID	QUAN	TYPE	DIA	LENGTH	WASH
1	8	A325	1/2"	1 1/4"	0

CONNECTION PLATES	
ROOF PLAN	
Q ID	MARK / PART
1	FC008

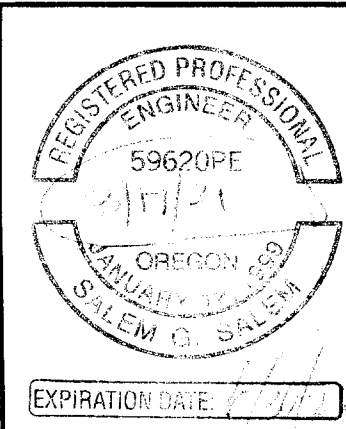
MEMBER TABLE	
ROOF PLAN	
MARK	PART
P-1	10Z14
P-2	10Z16
P-3	10Z16
P-4	10Z14
E-1	10C16
E-2	10C16
E-3	10C16
CB-5	5/16" CABLE
CB-6	5/16" CABLE



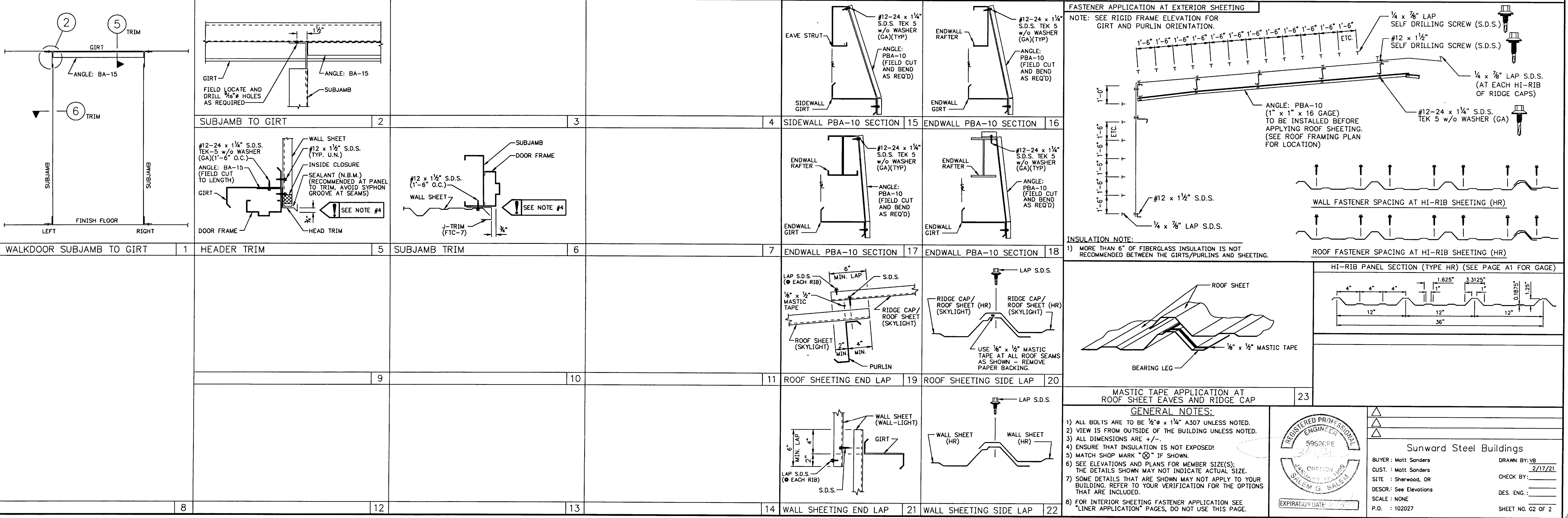
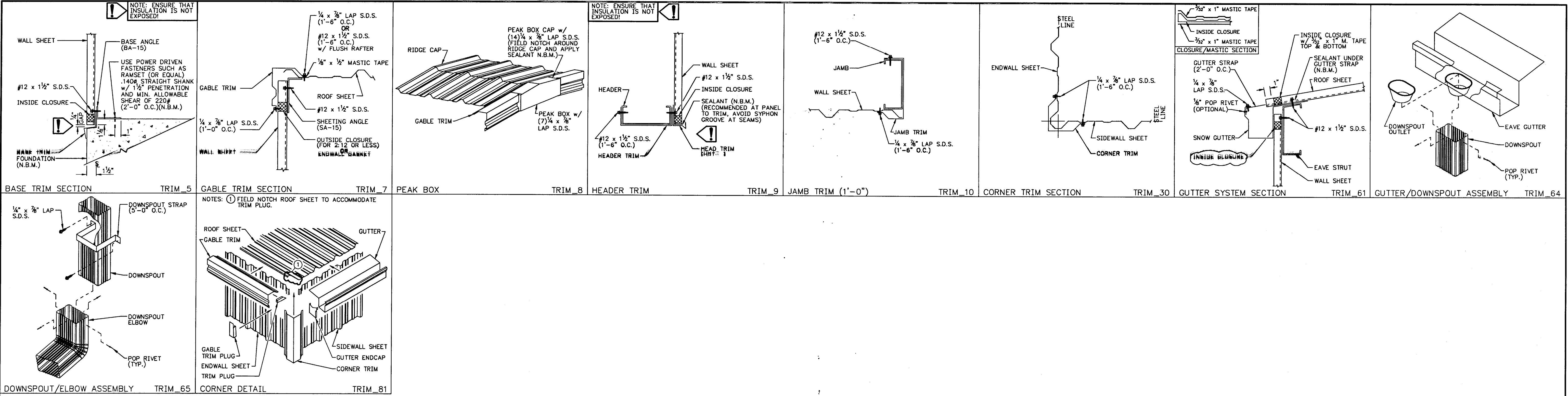
ROOF FRAMING PLAN

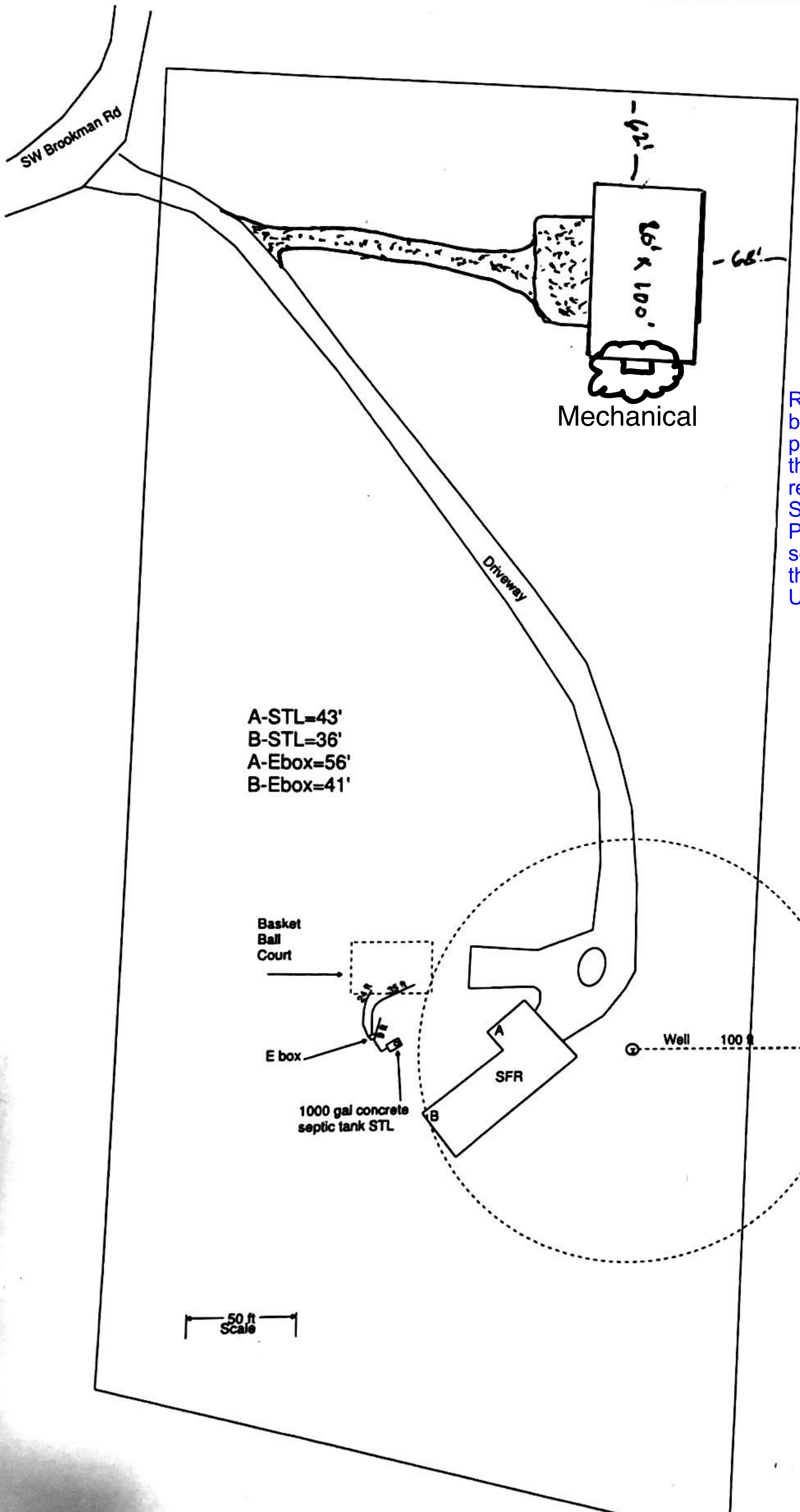
PURLIN CLIP NOTES:
 1) PURLIN CLIPS AS REQUIRED. SEE ROOF FRAMING PLAN.
 2) SEE DETAIL SECTIONS "A" ON ENDWALL ELEVATIONS FOR PURLIN TO RAFTER DETAILS.
 3) LOCATE PURLIN CLIP INSIDE OF ROOF PURLIN.

PURLIN BRIDGING ANGLE NOTES:
 (MARK: PBA-10, SIZE: 1"x1/2" C&G)
 IF SHOWN, LOCATE PBA-10 AS INDICATED ON DRAWINGS. ONE ROW IS AT MIDPOINT OF BAY. TWO ROWS ARE AT 1/3 POINTS OF BAY. THREE ROWS ARE AT 1/4 POINTS OF BAY.



Sunward Steel Buildings	
BUYER: Matt Sanders	DRAWN BY: VB
CUST: Matt Sanders	CHECK BY: 2/17/21
SITE: Sherwood, OR	DESIGN: See Elevations
DESCR: See Elevations	SCALE: NONE
P.O.: 102027	SHEET NO. 05 OF 06





16490 SW Brookman Rd
 3 1W 05B 01802
 5.84 Acres
 Well Water

RRFF-5 zone detached shop building - no interior improvements proosed reviewed or approved with this review. Setbacks as represented are met - Front/W - 30', Sides/N,S - 10', Rear/E - 10' Property has steep slopes with its south half - future development in this area will require addition Land Use review.

American On Site
 503-829-7600
 3/17/2022
 As Found

1649 Plot Plan

16490 SW Brookman Rd
346.85

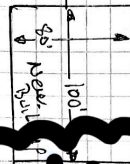


if no access taken - if
ss taken from N prop
erty boundary will be
considered Corner Lot - 2
fronts

SW Brookman Rd



F-5 zone detached shop
ing - no interior improvements
ad reviewed or approved with
this review. Setbacks as
represented are met - Front/W - 30',
Sides/N, S - 10', Rear/E - 10'
Property has steep slopes with its
south half - future development in
this area will require addition Land
Use review.



Mech.

House

678.30

708.12

345.28



APPROVED PLANS

Scanned with CamScanner
Exhibit D 20 of 24

B0000622



DAN JOHNSON
DIRECTOR

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT
DEVELOPMENT SERVICES BUILDING
150 BEAVERCREEK ROAD OREGON CITY, OR 97045

Onsite Wastewater Existing System Verification
Fax (503) 742-4550 Email soilsconcern@clackamas.us

Site Information:

Owner: Matt Sanders Phone: (503) 756-6729
Site Address: 16490 SW Brookman Rd, Sherwood OR
97140

☒ Owner's mailing address same as site address

Owner's mailing address if different: _____

Email Address: Sanders132@gmail.com

(TO BE COMPLETED BY CERTIFIED SEPTIC INSTALLER, MAINTENANCE PROVIDER, NAWT INSPECTOR
CERTIFICATION, OR CERTIFIED SEPTIC CONSULTANT)

Date of Inspection 3/16/2022

Phone: (503) 829-7600

Performed By: Bob Anderson

License or Certification No: Rm 62

Company: American on site

Email: AOSseptic@yahoo.com

1. Overall System Status:

- Discharge of sewage to the ground surface ☐ Yes ☒ No
- Discharge of sewage to surface waters ☐ Yes ☒ No
- Sewage backup into plumbing fixtures ☐ Yes ☒ No

2. Septic tank (s):

- Capacity 1000 gal material: Concrete

3. Dosing Tank (skip if not applicable):

- Capacity N/A gal material: _____

4. Drainfield :

- Drainfield area free from roads, vehicular traffic, structures, livestock, etc: ☐ Yes ☒ No Basket ball court
- Drainfield area is free from surface water runoff & down spouts: ☒ Yes ☐ No
- Total number of lines 3 total lineal feet 68 ft
- Drainfield Distribution: ☒ Equal ☐ Serial ☐ Pressure
- Drain line(s) construction materials: ☒ Gravel ☐ Gravelless ☐ Tile ☐ Other _____
- Room for replacement area available: ☒ Yes ☐ No

Existing System Verification 2/25/2019

5. Comments System operating as should, Liquid level @ bottom of pipe in equal box (drain field pipe)

This onsite sewage treatment system existing system verification is for verifying the location of an existing non-documented septic system. This document is not an indication of warranty, system certification, or guarantee of the septic system satisfactory performance for any length of time.

I have studied the information contained herein and find that my assessment is honest, thorough, and to the best of my ability, correct.

Signature: Bob Ash Date: 3/16/22

Clackamas County Disclaimer:

Clackamas County Septic and Onsite Wastewater Systems Division assumes no responsibility for the accuracy of the information provided, nor does it guarantee the future condition or function of the onsite wastewater treatment system. Homeowners are responsible for correcting any problems noted on this form, and obtaining the proper permits prior to repair. If you have any questions about your septic system, or your system is not functioning properly, please contact Septic and Onsite Wastewater Systems Division for assistance.

Clackamas County has Received this verification on: Date: / / By:

Existing Trees & Shrubs (North Property Line & Around Building)

Driveway / Access Point

Surface: Gravel (existing)

Drainage: Existing surface drainage to swale

Parking Lot Plan - 30 Spaces with Landscaping

Includes 30 spaces (2 ADA) with north arrow, scale, and landscaping buffer.





Clackamas County Planning and Zoning
Department of Transportation and Development
Development Services Building
150 Beaver Creek Road | Oregon City, OR 97045
503-742-4500 | zoninginfo@clackamas.us
www.clackamas.us/planning

NOTICE OF INCOMPLETE TYPE II OR III LAND USE APPLICATION

FILE NUMBER: Z0343-25
APPLICATION TYPE: Conditional Use
APPLICANT NAME: Tobie Sanders
SITE ADDRESS: 16490 SW Brookman Rd., Sherwood, OR 97140
STAFF CONTACT: Melissa Lord EMAIL: MLord@Clackamas.us
DATE OF APPLICATION SUBMITTAL: August 18, 2025
DATE DEEMED INCOMPLETE: September 17, 2025
DATE OF MAILING OF THIS NOTICE: September 17, 2025
DEADLINE FOR SUBMITTAL OF MISSING INFORMATION (180 days from date the application was first submitted): March 21, 2025

Your Type III land use application has been deemed **incomplete**. Pursuant to Subsection 1307.07(E) of the Clackamas County Zoning and Development Ordinance, your application will be void unless the missing information is submitted within 180 days of the date the application was first submitted. Upon voiding of an application, 75 percent of your application fee will be refunded, and you will need to reapply if you are still interested in obtaining this permit.

MISSING INFORMATION REQUIRED FOR A COMPLETE APPLICATION:

1. Written narrative response to **how** the proposal complies with all relevant sections of the ZDO in the 1000-series. Refer to Section 1001 and Table 1001-1 for a list of all sections that apply to commercial uses.
2. Vicinity map: Provide a map of the area around the property, drawn to scale, that shows the uses and location of improvements on adjacent properties and properties across any road.
3. Parking Lot: The parking lot plan does not include the delineation of parking stalls and drive aisles. Dimensions of drive aisles and stalls are required. Necessary parking lot landscaping should be shown on the parking lot plans or on a separate landscaping plan. Parking lot surface materials, striped crosswalks, ADA spaces should all be shown on the parking lot plan. ZDO Section 1015 has the standards for parking lots.
4. Landscaping: A minimum of 25% of the site must be landscaped. All landscaping is subject to the standards in Section 1009. A landscaping plan was not submitted and so compliance with Section 1009 cannot be verified.

5. Outdoor lighting: Narrative states that there is lighting on the exterior of the building. Details regarding the specific light fixture type and the height the lights are mounted onto the building are required to verify compliance with ZDO Section 1005.04. Section 1005 requires parking areas, walkways, and trash enclosures to be illuminated. Lighting plan must show how the proposed lighting will illuminate these areas and increase safety on site.
6. Scope of the use: Narrative states that the proposal is to authorize “small group trainings” and “occasional events”. The anticipated traffic volume will not “exceed the capacity of SW Brookman Rd”. What do those statements mean specifically?
 - a. How many people are going to be allowed on site at any time?
 - b. How frequent will trainings be?
 - c. What are the hours of operation?
 - d. What type of events?
 - e. What is the current traffic capacity of Brookman Rd?
7. Explain **how** the proposed use will not alter the character of the surrounding area in a manner that substantially limits, impairs, or precludes the use of surrounding properties for the primary uses allowed in the zoning district(s) in which surrounding properties are located.
 - a. What is the character of the surrounding area?
 - b. What are the impacts of this proposed recreational facility?
 - c. What are the zoning districts surrounding this property? What primary uses are allowed?
 - d. How will those impacts not limit, impair, or preclude the use of surrounding properties for the primary uses allowed in the zoning district(s) in which surrounding properties are located?
8. Service Feasibility Determinations: Request that the property’s surface water management authority (Clackamas Water Environment Services) complete a [Preliminary Statement of Feasibility](#).
9. Portable restrooms must be shown on site plan.
10. Trash and recycling: Trash/recycling plans were not submitted and location of trash enclosure not shown on plans. Enclosure details must be submitted demonstrating compliance with Section 1021.
11. Property Owners signature: The application needs to be signed by **both** property owners: Matt Sanders **and** Tobie Sanders
12. Coordination with Washington County regarding the roadway access is required. Written acknowledgement from the County and commentary relating to the feasibility of using the road must be submitted.

Advisory Notes (not required for a complete application):

- A. Consider working with the Clackamas County Building Codes division and the Clackamas County Septic division to determine whether or not permanent restroom facilities are required.

IMPORTANT

Your application will be deemed complete, if, within 180 days of the date the application was first submitted, Planning and Zoning receives one of the following:

1. All of the missing information; or
2. Some of the missing information and written notice from you (the applicant) that no other information will be provided; or
3. Written notice from you (the applicant) that none of the missing information will be provided.

If any one of these options is chosen within 180 days of the date of the initial submittal, approval or denial of your application will be subject to the relevant criteria in effect on the date the application was first submitted.

Your application will be considered **void** if, on the 181st day after the date the application was first submitted, you have been mailed this notice and have not provided the information requested in Options 1-3 above. In this case, no further action will be taken on your application.

Applicant or authorized representative, please check one of the following and return this notice to: **Clackamas County Planning and Zoning, 150 Beaver Creek Road, Oregon City, OR, 97045 or the staff contact email on page 1 of this notice**

- ☐ I am submitting the required information (attached); or
- ☐ I am submitting some of the information requested (attached) and no other information will be submitted; or
- ☐ I will not be submitting the requested information. Please accept the application as submitted for review and decision.

Signed

Date

Print Name