



DAN JOHNSON
DIRECTOR

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 BEAVERCREEK ROAD OREGON CITY, OR 97045

May 22, 2025

BCC Agenda Date/Item: _____

Board of County Commissioners
Clackamas County

**Approval of a change order with P&C Construction for tree removal and other additional scope of work to the new Concord Park playground and Community Center renovations. Amendment Value is \$134,079.53 for 4 months. Total Agreement Value is \$36,759,157.08 for 4 years. Funding is through the NCPRD General Fund and System Development Charges.
No County General Funds are involved.**

Previous Board Action/Review	<p>July 27, 2023 - Business Meeting, Board approved P&C Amendment #5 approving construction of the Oak Lodge Library.</p> <p>August 10, 2023 - Business Meeting, Board approved Oak Lodge Library Construction IGA.</p> <p>November 22, 2023 - Business Meeting, Board approved NCPRD Concord Park, Park Shelter, Splash Pad and Site Work</p> <p>March 19, 2024 - Business Meeting, Board approved NCPRD Community Center work</p> <p>May 9, 2024 - Business Meeting, Board approved playground equipment purchase and installation (Northwest Playground Equipment, Inc.)</p> <p>November 27, 2024 - Business Meeting, Board approved Concord Park Playground, SE Concord Rd improvements, project delays, permit design changes, contaminated soil, and Community Center renovations.</p>		
Performance Clackamas	This project aligns with the Vibrant Economy Goal: It provides economic development, public spaces, and community enrichment services to residents, businesses, visitors, and partners so they can thrive and prosper in healthy and vibrant communities.		
Counsel Review	Yes, AK	Procurement Review	Yes, RR
Contact Person	Jason Varga	Contact Phone	(503) 351-4012

EXECUTIVE SUMMARY: At the November 27, 2024, Business Meeting, the Board approved a contract with P&C Construction for a portion of the Concord Park playground and Community Center renovation work. This contract amendment encompasses two separate scopes of work—one related to the playground, and the other to the community center renovations.

Playground Scope: This change order covers the removal of existing trees near the playground, identified by the arborist as safety hazards.

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It also includes modifications to the drainage system to align with the updated curb layout in a nearby landscaped area.

Community Center Renovation Scope: The change order includes several building upgrades and necessary adjustments due to unforeseen site conditions. These include:

- Installation of seismic bracing and structural blocking in the attic space
- Replacement of existing cloth wiring throughout the facility
- Modifications to the main entrance canopy
- Widening of the sidewalk by two feet along the front of the building
- Relocation of the new transformer vault to accommodate the electrical switchgear

These additional costs are being covered by owner contingency funds included in the original project budget. No additional funding is being requested at this time.

<u>NCPRD General Fund & SDC's</u>	<u>\$ 134,079.53</u>
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Total	\$ 134,079.53
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RECOMMENDATION: Staff recommends approval of this contract amendment.

Respectfully submitted,

Dan Johnson

Dan Johnson
Director of Transportation & Development

AMENDMENT #11
TO THE CONTRACT DOCUMENTS WITH P. & C. CONSTRUCTION CO. FOR OAK LODGE
AND GLADSTONE LIBRARY CMGC
Contract #4357

This Amendment #11 is entered into between **P. & C. Construction Co.** (“Contractor”) and Clackamas County (“Owner”) and shall become part of the Contract documents entered into between both parties on **September 30, 2021** (“Contract”). The Project contemplated by the Contract involves four distinct portions. This Amendment #11 primarily applies to the Concord Community Center portion of the Project, authorized by Amendment #7 to the Contract (the “Concord Community Center GMP Amendment”).

The Purpose of this Amendment #11 is to make the following changes to the Contract:

1. Concord Community Center GMP Amendment Section 2, Authorized Construction Phase Services is hereby amended as follows:

Owner has approved an increase to the Construction Phase Services via change orders authorized under the Concord Community Center GMP Amendment. The additional Construction Phase Services are further described in **Exhibit A to this Amendment #11**, attached hereto and incorporated by reference herein, and summarized as follows:

- a. Additional Construction Phase Services authorized by this Amendment #11 include new downspouts and gutters, additions to attic fire sprinkler system, and added sheet metal scope at roof.

2. Concord Community Center GMP Amendment Section 3, Guaranteed Maximum Price is hereby amended as follows

In consideration for Contractor performing the additional Construction Phase Services authorized by this Amendment #11, Owner will pay Contractor an amount not to exceed \$134,079.53. Consideration is in accordance with the terms and conditions of the Contract, including the Concord Community Center GMP Amendments. The total project value for all four portions of the Project shall not exceed \$36,744,541.43.

3. Contract Amendment #6, Section 7, GMP Contract Times is hereby amended as follows:

As a result of the additional Construction Phase Services and permitting delays, the Substantial Completion date in Section 7.1 of Amendment #6 to the Contract for the Concord Park portion of this Project is hereby changed from October 29, 2024 to July 8, 2025.

ORIGINAL CONTRACT	\$ 88,780.00 (Preconstruction Fee)
AMENDMENT #1	\$ 270,054.00 (Early Work Amendment)
AMENDMENT #2	\$ 21,686.00 (Early Work Amendment)
AMENDMENT #3	\$ 136,681.00 (Early Work Amendment)
AMENDMENT #4	\$ 6,978,163.00 (GMP Gladstone Library)
AMENDMENT #5	\$15,314,232.00 (GMP Oak Lodge Library)
AMENDMENT #6	\$ 4,633,620.00 (GMP Concord Park)
AMENDMENT #7	\$ 6,160,262.00 (GMP Concord Community)
AMENDMENT #8	\$ 211,346.69 (Change order for GS Library GMP)
AMENDMENT #9	\$ 188,673.21 (Change Order for GS Library GMP)
AMENDMENT #10	\$2,606,964.00 (Library/Concord Park/Comm. Ctr)
AMENDMENT #11	\$ 134,079.53 (Change Order for Concord Project)
TOTAL AMENDED CONTRACT	\$ 36,744,541.43

P. & C. Construction Co.

Authorized Signature

Date _____

Printed Name

Chair

Approved as to Form:

Amanda Kella 4/29/2025
County Counsel Date

Exhibit A



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

PCCO #002

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Change Order #002: 23005 PCCO02

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
DATE CREATED:	1/02/2025	CREATED BY:	Hunter Karnopp (P&C Construction)
CONTRACT STATUS:	Pending - In Review	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
REVISED SUBSTANTIAL COMPLETION DATE:		SIGNED CHANGE ORDER RECEIVED DATE:	
CONTRACT FOR:	23005--Concord CC Upgrades	TOTAL AMOUNT:	\$70,872.00

DESCRIPTION:

The amendment includes PCO02 (RFI 9 Seismic Detail), PCO03 (Python Increased Anchor Lengths), PCO04 (Transformer Relocation), PCO09 (RFI 42.1 Additional Blocking & Pythons), PCO011 (Canopy Modifications), and PCO012 (Cloth Feeder Wire Replacement).

ATTACHMENTS:

[23005 PCO012 Canopy Modifications.pdf](#), [23005 PCO04 RFI 004 Transformer_Vault Relocation \(2\).pdf](#), [23005 PCO011 Cloth Wiring Replacement.pdf](#), [23005 PCO09 RFI 42.1 Additional Grid 4 Blocking & Pythons.pdf](#), [23005 PCO02 RFI 009 Perimeter Seismic Detail Changes.pdf](#), [23005 PCO03 RFI 006 ADD-2 Python.pdf](#)

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
002	23005 PCO02 RFI 009 Perimeter Seismic Detail Changes		\$0.00
003	23005 PCO03 RFI 006 ADD-2 Python		\$0.00
004	23005 PCO04 RFI 004 Transformer/Vault Relocation		\$0.00
009	23005 PCO09 RFI 42.1 Additional Grid 4 Blocking & Pythons		\$0.00
011	23005 PCO011 Cloth Wiring Replacement		\$0.00
012	23005 PCO012 Canopy Modifications		\$0.00
025	23005 PCO025 Borrowed Contingency Refill		\$70,872.00
Total:			\$70,872.00

CHANGE ORDER LINE ITEMS:

PCO # 002: 23005 PCO02 RFI 009 Perimeter Seismic Detail Changes

#	Budget Code	Description	Amount
1	03-000-____-.SUBS Ward-Henshaw	RFI 009 - Perimeter Seismic Detail Clarification	\$23,234.00



PCCO #002

#	Budget Code	Description	Amount
2	01-020-____.MAT'L Project Contingency	Borrowed Contingency	\$(23,234.00)
Subtotal:			\$0.00
Builder's Risk (≈ 0.6% Applies to all line item types.):			\$0.00
Liability Insurance (≈ 1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (≈ 0.95% Applies to all line item types.):			\$0.00
Fee (≈ 2.45% Applies to all line item types.):			\$0.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 003: 23005 PCO03 RFI 006 ADD-2 Python

#	Budget Code	Description	Amount
1	03-000-____.SUBS Ward-Henshaw	RFI #6: ADD-2 Python MT Anchor	\$5,756.00
2	01-020-____.MAT'L Project Contingency	Borrowed Contingency	\$(5,756.00)
Subtotal:			\$0.00
Builder's Risk (≈ 0.61% Applies to all line item types.):			\$0.00
Liability Insurance (≈ 1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (≈ 0.96% Applies to all line item types.):			\$0.00
Fee (≈ 2.45% Applies to all line item types.):			\$0.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 004: 23005 PCO04 RFI 004 Transformer/Vault Relocation

#	Budget Code	Description	Amount
1	26-050-____.SUBS PECi	RFI 004 - Transformer/Vault Relocation	\$8,567.00
2	01-020-____.MAT'L Project Contingency	Borrowed Contingency	\$(8,567.00)
Subtotal:			\$0.00
Builder's Risk (≈ 0.6% Applies to all line item types.):			\$0.00
Liability Insurance (≈ 1.16% Applies to all line item types.):			\$0.00
Payment & Performance Bond (≈ 0.95% Applies to all line item types.):			\$0.00
Fee (≈ 2.46% Applies to all line item types.):			\$0.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 009: 23005 PCO09 RFI 42.1 Additional Grid 4 Blocking & Pythons

#	Budget Code	Description	Amount
1	03-000-____.SUBS Ward-Henshaw	RFI 42.1 Grid 4 Blocking	\$7,139.00
2	01-020-____.MAT'L Project Contingency	Borrowed Contingency	\$(7,139.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 011: 23005 PCO011 Cloth Wiring Replacement

#	Budget Code	Description	Amount
1	26-050-____.SUBS PECi	RFI 62 - Cloth Feeder Wire Replacement	\$16,389.00

**PCCO #002**

#	Budget Code	Description	Amount
2	01-020-____.MAT'L Project Contingency	Borrowed Contingency	\$(16,389.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 012: 23005 PCO012 Canopy Modifications

#	Budget Code	Description	Amount
1	05-120-____.SUBS Solid Form	RFIs 29, 40, 40.1 Canopy Changes	\$5,951.00
2	01-020-____.MAT'L Project Contingency	Borrowed Contingency	\$(5,951.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 025: 23005 PCO025 Borrowed Contingency Refill

#	Budget Code	Description	Amount
1	01-020-____.MAT'L Project Contingency	Borrowed Contingency Refill Change Order	\$67,036.00
Subtotal:			\$67,036.00
Builder's Risk (≈ 0.6% Applies to all line item types.):			\$402.00
Liability Insurance (≈ 1.15% Applies to all line item types.):			\$771.00
Payment & Performance Bond (≈ 0.95% Applies to all line item types.):			\$637.00
Fee (≈ 2.45% Applies to all line item types.):			\$1,687.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$339.00
Grand Total:			\$70,872.00

The original (Contract Sum)	\$6,160,262.00
Net change by previously authorized Change Orders	\$177,773.00
The contract sum prior to this Change Order was	\$6,338,035.00
The contract sum would be changed by this Change Order in the amount of	\$70,872.00
The new contract sum including this Change Order will be	\$6,408,907.00
The contract time will not be changed by this Change Order.	

Caroline Hather (Opsis Architecture)920 NW 17th Avenue
Portland, Oregon 97209**Clackamas County**150 Beavercreek Road
Oregon City, Oregon 97045**P&C Construction**2133 NW York Street
Portland, Oregon 97210

Signed by:

Caroline Hather

65C5362E120D430...

SIGNATURE

January 22, 2025

DATE

Signed by:

Jason Varga

9B7445117BD643D...

SIGNATURE

January 22, 2025

DATE

DocuSigned by:

Brian Shoemaker

5743F125A9DA45C...

SIGNATURE

January 27, 2025

DATE



PCO #012

P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Potential Change Order #012: 23005 PCO012 Canopy Modifications

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	012 / 0	CONTRACT:	23005- - Concord CC Upgrades
REQUEST RECEIVED FROM:	Jamie Fleckenstein (Solid Form Fabrication, Inc.)	CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Pending - In Review	CREATED DATE:	9/25/2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO012 Canopy Modifications

CHANGE REASON: Added Scope

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

Canopy modifications per RFIs 29, 40 and 40.1. Changes include added soffit hanger brackets and clips, removing the decking, additional angles, and added light fixture brackets/mounts.

ATTACHMENTS:

[SFF Concord COR 03 Canopy Mods 092624.pdf](#) , [RFI 40.1 - Standing Seam Roofing Support.pdf](#) , [RFI 40 - Standing Seam Roofing Support.pdf](#) , [RFI 29 Proposed Canopy Design Change.pdf](#)

#	Budget Code	Description	Amount
1	05-120-___.SUBS Solid Form	RFIs 29, 40, 40.1 Canopy Changes	\$5,951.00
2	01-020-___.MAT'L Project Contingency	Borrowed Contingency	\$(5,951.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

Caroline Hather (Opsis Architecture)
920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County
150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction
2133 NW York Street
Portland, Oregon 97210

Signed by: Caroline Hather
January 22, 2025
October 14, 2024
65C5363E129D430...
SIGNATURE DATE

Signed by: Jason Varga
January 22, 2025
October 14, 2024
9B7445117BD543D...
SIGNATURE DATE

Signed by: Sonia Ayshod
January 22, 2025
October 14, 2024
76EE5A212F094B0...
SIGNATURE DATE



Contract Change Order Request

To:	P&C Construction	From:	Jamie Fleckenstein
Contact:	Sonia Axelrod	Job:	Concord Community Center
Date:	September 26, 2024	Email:	jamie@teamsolidform.com
COR#	3	Re:	Canopy Modifications

Changes:

All parties agree to the following changes to the scope of work previously defined in the Project Work Authorization between P&C Construction Company and Solid Form Fabrication, Inc. for P&C Job No. 23005.

1. Canopy Modifications per RFIs 29, 40: \$5,951.00
 - Per RFI 29:
 - Add 3/8" formed soffit hanger brackets with L2x2 clips at each end per SK/29.
 - Add L3x3x1/4" and PL 3/8" tabs at end per SK/29B.
 - Remove 3/8" formed soffit brackets parallel to HSS outriggers.
 - Remove decking.
 - Per RFI 40/40.1:
 - Update angle at wall to L2.5x2.5x3/8" with 1/4" tabs at each outrigger.
 - Add L2.5x2.5x3/8" stitch-welded to middle formed 3/8" soffit hanger bracket.
 - Flip outermost formed 3/8" soffit hanger bracket and move to make clearance for light fixture.

Item	Cost	Markup	Total	Markup %
Labor	\$ 5,895.45	\$ 589.55	\$ 6,485.00	10%
Material/Equip.	\$ (534.00)	n/a	\$ (534.00)	n/a
			\$ 5,951.00	

2706 NE Rivergate St
McMinnville, OR 97128

503.435.1400
teamsolidform.com

Net Change: \$5,951.00

Summary:

Total Items in COR scope: 1
SFF COR #03: Canopy Modifications: \$ 5,951.00

Accepted by: _____

Date: _____



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

RFI #40.1

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Standing Seam Roofing Support

TO:	John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Atlee Dodge (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	08/14/ 2024	DUE DATE:	08/21/2024
DRAWING NUMBER:		SPEC SECTION:	05 12 00 - Structural Steel Framing
LINKED DRAWINGS:	S6.02		
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	SCHEDULE IMPACT:		

Question from Atlee Dodge (P&C Construction) at 02:03 PM on 08/14/2024

It has been confirmed that an additional support in the center of the roofing span will be adequate. For alignment purposes, it is easiest if its field welded to the soffit supports shown in RFI 29. Please advise on the needed angle size and welds required.

Attachments:

[RFI-40.1 Canopy roofing support.pdf](#)

Official Response: John Murphy (Catena Consulting Engineers) responded on Thursday, August 22nd, 2024 at 2:31PM PDT

See attached pdf.

Attachments:

[RFI 40.1 - concord_cc_upgrades-rfi#40.1-standing_seam_roofing_support-202408221705.catena.pdf](#)

All Replies:

Response from Caroline Hather (Opsis Architecture) at 02:17 PM on 08/26/2024

Please proceed based on Catena response.

Attachments:

Response from John Murphy (Catena Consulting Engineers) at 02:31 PM on 08/22/2024

See attached pdf.

Attachments:

[RFI 40.1 - concord_cc_upgrades-rfi#40.1-standing_seam_roofing_support-202408221705.catena.pdf](#)



RFI #40.1



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Standing Seam Roofing Support

TO:	John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Atlee Dodge (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	08/08/ 2024	DUE DATE:	08/15/2024
DRAWING NUMBER:	A4.11	SPEC SECTION:	05 12 00 - Structural Steel Framing
LINKED DRAWINGS:	A4.11		
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	TBD	SCHEDULE IMPACT:	No

Question from Atlee Dodge (P&C Construction) at 09:52 AM on 08/08/2024

1. Detail 3/A4.11 shows a steel angle to support the back edge of the standing seam metal roofing, and says reference Structural. Structural does not show this angle. Please provide the angle size and the attachment to structure.

2. Please review if supports will be needed at the center of the span and at the outer edge.

Attachments:
[RFI 40 - Standing Seam Roofing Support.pdf](#)

Official Response: John Murphy (Catena Consulting Engineers) responded on Friday, August 9th, 2024 at 1:16PM PDT
Please see attached sketch for angle and attachment requirements. Standing seam is a delegated design item.

Attachments:
[RFI 40 - concord_cc_upgrades-rfi#40-standing_seam_roofing_support-202408082059.catena.pdf](#)

All Replies:

Response from Caroline Hather (Opsis Architecture) at 06:04 PM on 08/11/2024

No additional Arch comments - proceed per Catena response.

Attachments:



RFI #40

Response from John Murphy (Catena Consulting Engineers) at 01:16 PM on 08/09/2024

Please see attached sketch for angle and attachment requirements. Standing seam is a delegated design item.

Attachments:

[RFI 40 - concord_cc_upgrades-rfi#40-standing_seam_roofing_support-202408082059.catena.pdf](#)



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Proposed Canopy Design Change

TO:	John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Atlee Dodge (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	07/18/ 2024	DUE DATE:	07/25/2024
DRAWING NUMBER:	S6.02	SPEC SECTION:	05 50 00 - Metal Fabrications
LINKED DRAWINGS:	S6.02		
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	TBD	SCHEDULE IMPACT:	No

Question from Atlee Dodge (P&C Construction) at 10:08 AM on 07/18/2024

Please see the attached document for questions regarding the concord canopy construction and a proposed design change.

Attachments:
[SFF_PC_Concord Canopy_RFI#1.pdf](#)

Official Response: Caroline Hather (Opsis Architecture) responded on Wednesday, August 14th, 2024 at 9:39AM PDT
Per discussions on call of 08/12, please see attached Catena / Opsis response attached.

Attachments:
[RFI 29 - SFF_PC_Concord Canopy_RFI#1_Op.catena.pdf](#)

All Replies:

Response from Caroline Hather (Opsis Architecture) at 09:39 AM on 08/14/2024

Per discussions on call of 08/12, please see attached Catena / Opsis response attached.

Attachments:
[RFI 29 - SFF_PC_Concord Canopy_RFI#1_Op.catena.pdf](#)



PCO #004

P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Potential Change Order #004: 23005 PCO04 RFI 004
Transformer/Vault Relocation

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	004 / 0	CONTRACT:	23005- - Concord CC Upgrades
REQUEST RECEIVED FROM:	Corey Donohue (Portland Electrical Construction Inc.)	CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Approved	CREATED DATE:	7/17/2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO04 RFI 004 Transformer/Vault Relocation

CHANGE REASON: Scope Modification

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #005 - RFI 004 - Transformer/Vault Relocation

Relocating the vault/transformer to move it out of the phase II gym footprint and limit the amount of 90 degree turns into the switchgear.

ATTACHMENTS:

[574-003 - RFI #4 - Switchgear Location.pdf](#) , [_concord_cc_upgrades-rfi#4-switchgear_location-202405302106 \(1\).pdf](#)

#	Budget Code	Description	Amount
1	26-050-___-.SUBS PECi	RFI 004 - Transformer/Vault Relocation	\$8,567.00
2	01-020-___-.MAT'L Project Contingency	Borrowed Contingency	\$(8,567.00)
Subtotal:			\$0.00
Builder's Risk (≈ 0.6% Applies to all line item types.):			\$0.00
Liability Insurance (≈ 1.16% Applies to all line item types.):			\$0.00
Payment & Performance Bond (≈ 0.95% Applies to all line item types.):			\$0.00
Fee (≈ 2.46% Applies to all line item types.):			\$0.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

Caroline Hather (Opsis Architecture)

920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County

150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction

2133 NW York Street
Portland, Oregon 97210

Signed by:

65C5363E129D430...
September 22, 2024
SIGNATURE DATE

Signed by:

9B7445117BD543D...
September 22, 2024
SIGNATURE DATE

Signed by:

78EE5A212F094B0...
September 17, 2024
SIGNATURE DATE



Portland Electrical Construction, Inc.
21187 Highway 99E NE, Aurora, OR 97002
P: 503.655.2281 || F: 503.655.5033
PortlandElectrical.com

PECI CO Request #: 574-003
Request Date: 5/27/2024
Reference Number: RFI #4
Date: 5/27/2024
Project Name: Concord CC Upgrades
Contract #: 23005
Page Number: 1

P&C Construction
Contact: Sonia Axelrod
E-mail: S Axelrod@builtbypandc.com
2133 NW York St.
Portland, OR 97210
Telephone: 503.655.0165

Work Description

RFI #4 - PGE Modifications

Reduce PGE Primary Raceway, Trenching and Backfill By 26'

Credit original PGE Duct bank noted as (5) 4"C and revise to (5) 5"C.
Add 26' to PGE Secondary Raceway, Trenching and Backfill.

Excludes Asphalt/Concrete saw cutting and Remvoal
Excludes Asphalt/Concrete Patching

[We reserve the right to correct this quote for errors and omissions.](#)

This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.
This price is good for acceptance within 10 days from the date of receipt.

Itemized Breakdown

Description	Qty	Net Price U	Total Mat.	Labor U	Total Hrs.
4" CONDUIT - PVC40	-351	514.32 C	-1,805.26	5.50 C	-19.31
5" CONDUIT - PVC40	400	695.92 C	2,783.68	5.75 C	23.00
4" ELBOW 90 DEG - PVC40	-5	6,259.00 C	-312.95	131.25 C	-6.56
5" x 60" RAD ELBOW 90 DEG - PVC40	5	18,742.00 C	937.10	168.75 C	8.44
5" x 60" RAD ELBOW 45 DEG - PVC40	5	12,193.00 C	609.65	168.75 C	8.44
4" COUPLING - PVC	-20	314.50 C	-62.90	0.00 C	-0.00
5" COUPLING - PVC	20	678.48 C	135.70	0.00 C	0.00
4" END BELL - PVC	-10	351.12 C	-35.11	12.50 C	-1.25
5" END BELL - PVC	10	661.76 C	66.18	16.25 C	1.63
4 x 3" BASE SPACER	-20	159.15 C	-31.83	5.00 C	-1.00
5 x 3" BASE SPACER	24	174.63 C	41.91	7.50 C	1.80
4 x 3" INTERMEDIATE SPACER	-20	134.75 C	-26.95	3.13 C	-0.63
5 x 3" INTERMEDIATE SPACER	16	157.58 C	25.21	5.00 C	0.80
1/4" POLYROPE	129	79.10 M	10.20	3.75 M	0.48
Totals	183		2,334.62		15.84

Summary

MATERIAL		2,334.62
MATERIAL MARKUP (@ 10.000 %)		233.46
LABOR		
ELECTRICIAN (15.84 Hrs @ \$94.76)		1,501.00
FIELD SUPERVISION (1.27 Hrs @ \$94.76)		120.35
LABOR MARKUP (@ 10.000 %)		162.14
TOTAL MATERIAL & LABOR		4,351.57
Konell - Excavation (\$4,015.00 + 0.000 % + 0.000 % + 5.000 %)		4,215.75
Subtotal		8,567.32
FINAL AMOUNT		\$8,567.32

Authorization to proceed

PECI CO Request #: 574-003
Reference Number: RFI #4
Date: 5/27/2024
Project Name: Concord CC Upgrades
Contract #: 23005
Page Number: 2

P&C Construction
Contact: Sonia Axelrod
E-mail: SAXelrod@builtbypandc.com
Telephone: 503.655.0165

Name: _____

Date: _____

Signature: _____

I hereby accept this change order request and authorize the contractor to complete the above described work.



May 9th, 2024

PECI
Corey Donohue
2133 NW York St
Portland, OR 97210

RE: RFI #4 T&B

Concord CC Upgrades

KCD Job #
Contract:
CR: 1
ASI
RFI 4
Delay Days

Summary of Costs

Additional PGE secondary trench and backfill per RFI #4. PGE primary reduced.

Cost Impact Breakdown

Description	Added Quantity	Deleted Quantity	Delta	Price Per Unit	Subtotal	%	Markup	Total
CAT 314 - HR	3.50	0.00	3.50	\$108.00	378.00	10%	\$37.80	\$415.80
CAT 299 - HR	3.50	0.00	3.50	\$65.00	227.50	10%	\$22.75	\$250.25
Foreman Service Truck - HR	3.50	0.00	3.50	\$23.00	80.50	10%	\$8.05	\$88.55
Diesel Plate - HR	2.00	0.00	2.00	\$60.00	120.00	10%	\$12.00	\$132.00
4/5 Axle Dump Truck - HR	3.50	0.00	3.50	\$150.00	525.00	10%	\$52.50	\$577.50
Operator - HR	7.00	0.00	7.00	\$87.24	610.68	10%	\$61.07	\$671.75
Laborer - HR	3.50	0.00	3.50	\$70.42	246.47	10%	\$24.65	\$271.12
Dirt Haul & Dump Fees - TCY	22.00	0.00	22.00	\$25.00	550.00	10%	\$55.00	\$605.00
3/4" - Crushed Rock Delivered Solo - Per TCY	24.00	0.00	24.00	\$38.00	912.00	10%	\$91.20	\$1,003.20
Grand Total								\$4,015

Regards,

Tanner Wingfield
Tanner Wingfield
Project Manager



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Switchgear Location

TO:	Jennine Grasso (Interface Engineering, Inc) Caroline Hather (Opsis Architecture)	FROM:	Hunter Karnopp (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	04/15/ 2024	DUE DATE:	04/20/2024
DRAWING NUMBER:		SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	No	SCHEDULE IMPACT:	No

Question from Hunter Karnopp (P&C Construction) at 09:54 AM on 04/15/2024

Please confirm the location of the switchgear and the vault/transformer per our meeting on 4/4/24.

Official Response: Caroline Hather (Opsis Architecture) responded on Tuesday, April 30th, 2024 at 9:55AM PDT
Proceed with attached. Location agreed with Tim Anderson of PGE and updated site plan provided.

Caroline Hather, Opsis 04/30/24

Attachments:

Official Response: Jennine Grasso (Interface Engineering, Inc) responded on Thursday, April 25th, 2024 at 11:40AM PDT
"See attached site plan for updated switchgear and vault/transformer location."--Brayam Cruz, Interface Engineering, 04/24/2024

Attachments:
[23005-Concord_CC_Upgrades-4-Switchgear_Location-2024-04-15_IEI Response.pdf](#),[Concord CC RFI 4 - Electrical_IEI.pdf](#)

All Replies:

Response from Caroline Hather (Opsis Architecture) at 09:55 AM on 04/30/2024

Proceed with attached. Location agreed with Tim Anderson of PGE and updated site plan provided.

Caroline Hather, Opsis 04/30/24

Attachments:



RFI #4

Response from Jennine Grasso (Interface Engineering, Inc) at 11:40 AM on 04/25/2024

"See attached site plan for updated switchgear and vault/transformer location."--Brayam Cruz, Interface Engineering, 04/24/2024

Attachments:

[23005-Concord_CC_Upgrades-4-Switchgear_Location-2024-04-15_IEI Response.pdf Concord CC RFI 4 - Electrical_IEI.pdf](#)



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Switchgear Location

TO:	Jennine Grasso (Interface Engineering, Inc) Caroline Hather (Opsis Architecture)	FROM:	Hunter Karnopp (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	04/15/ 2024	DUE DATE:	04/20/2024
DRAWING NUMBER:		SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	No	SCHEDULE IMPACT:	No

Question from Hunter Karnopp (P&C Construction) at 09:54 AM on 04/15/2024

Please confirm the location of the switchgear and the vault/transformer per our meeting on 4/4/24.

All Replies:

See attached site plan for updated switchgear and vault/transformer location.

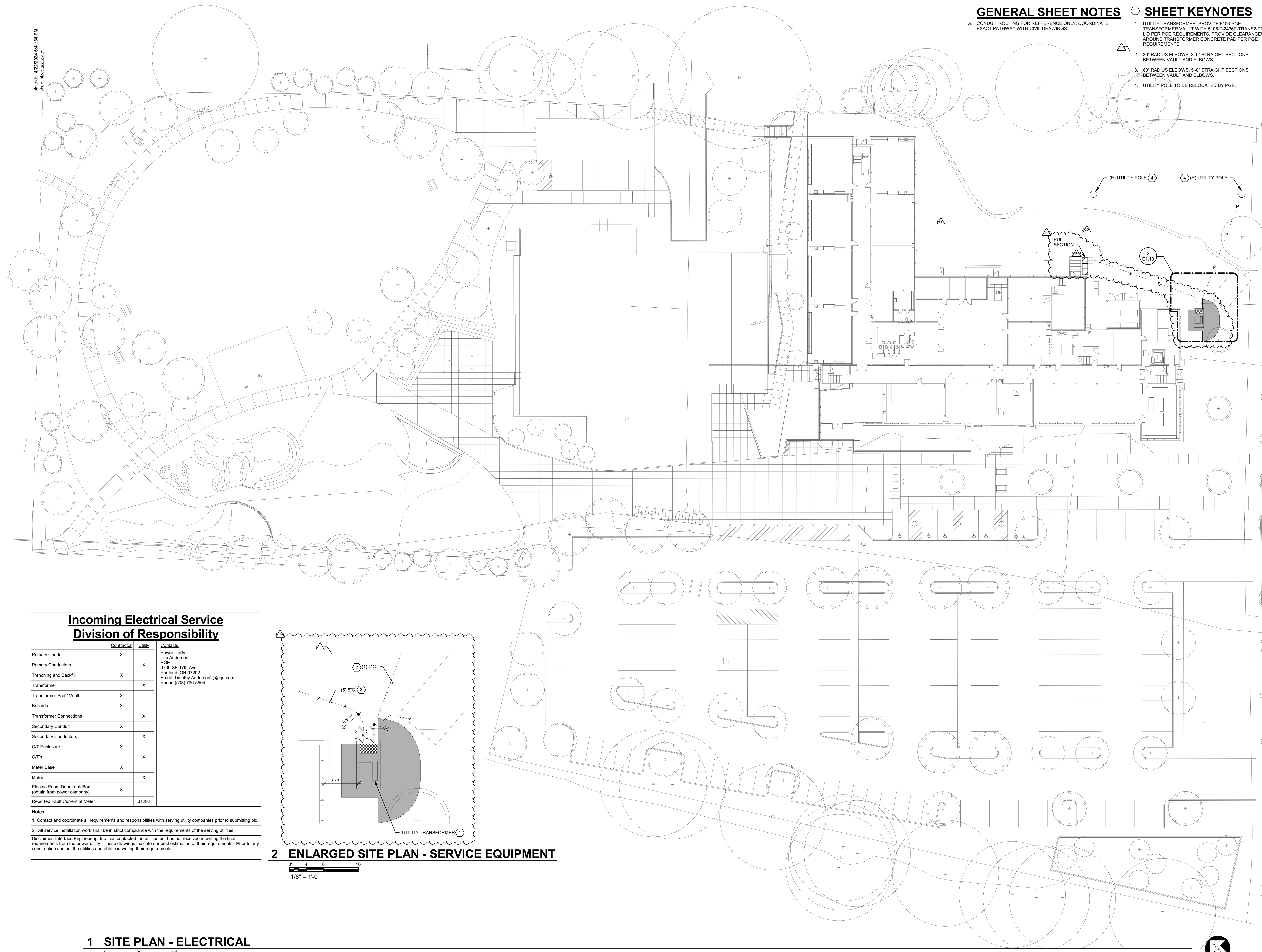
Brayam Cruz, Interface Engineering, 04/24/2024

GENERAL SHEET NOTES  SHEET KEYNOTES

- A. CONDUIT ROUTING FOR REFERENCE ONLY; COORDINATE EXACT PATHWAY WITH CIVIL DRAWINGS.

SHEET KEYNOTES

1. UTILITY TRANSFORMER: PROVIDE 5106-PGE TRANSFORMER VAULT WITH 5106-Y-2436P-TRANS-2-PGE 10" PGE REQUIREMENTS. PROVIDE CLEARANCES AROUND TRANSFORMER CONCRETE PAD PER PGE REQUIREMENTS.
2. 36" RADIUS ELBOWS, 3'-0" STRAIGHT SECTIONS BETWEEN VAULT AND ELBOWS.
3. 60" RADIUS ELBOWS, 5'-0" STRAIGHT SECTIONS BETWEEN VAULT AND ELBOWS.
4. UTILITY POLE TO BE RELOCATED BY PGE.



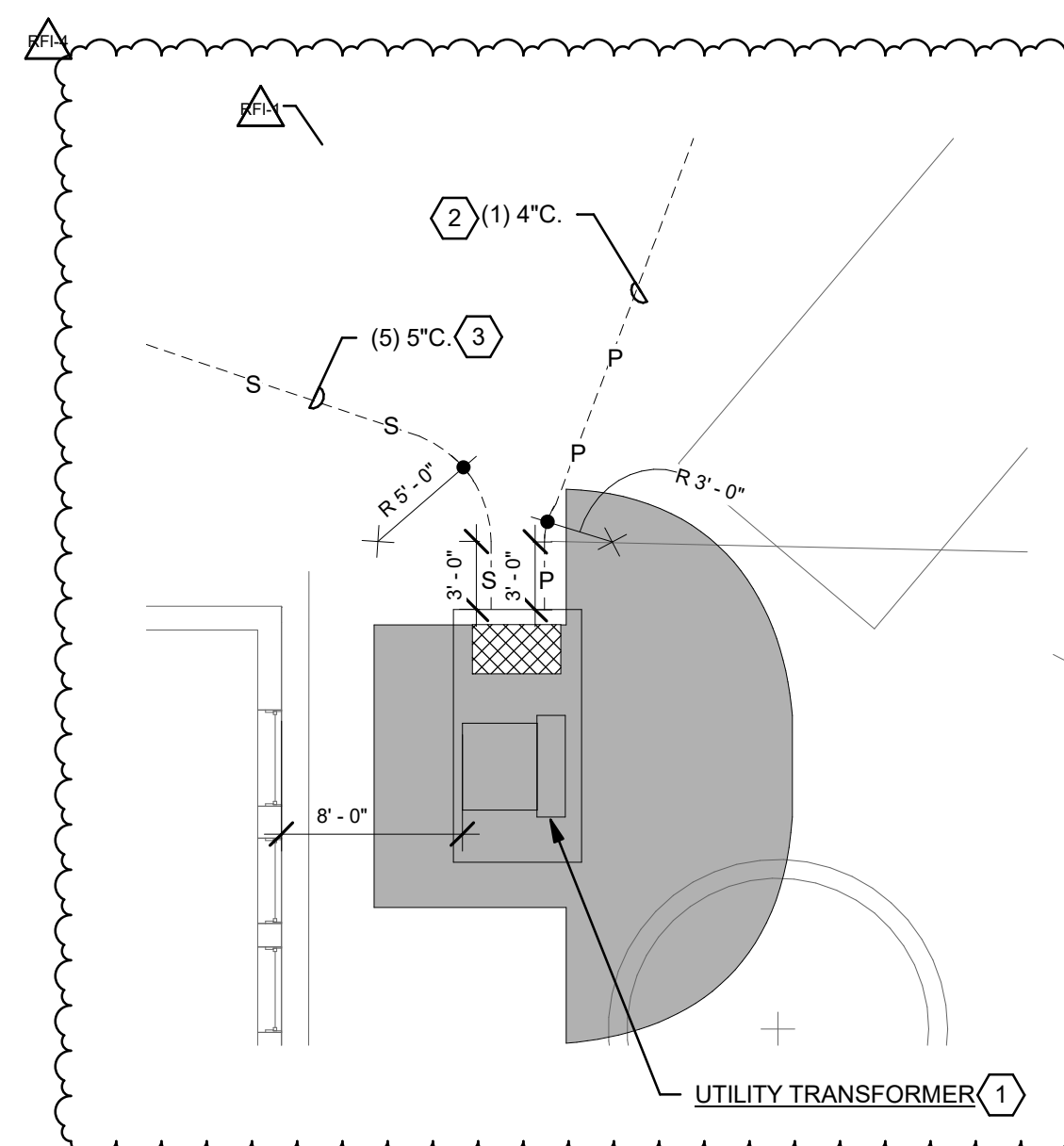
Incoming Electrical Service Division of Responsibility

	Contractor	Utility	Contacts:
Primary Conduit	X		Power Utility: Tim Anderson
Primary Conductors		X	PGE 3700 SE 17th Ave. Portland, OR 97202 Email: Timothy.Anderson2@pge.com Phone: (503) 736-5504
Trenching and Backfill	X		
Transformer		X	
Transformer Pad / Vault	X		
Bollards	X		
Transformer Connections		X	
Secondary Conduit	X		
Secondary Conductors		X	
C/T Enclosure	X		
C/T's		X	
Meter Base	X		
Meter		X	
Electric Room Door Lock Box (obtain from power company)	X		
Reported Fault Current at Meter		31292	

Notes:

- | |
|---|
| 1. Contact and coordinate all requirements and responsibilities with serving utility companies prior to submitting bid. |
| 2. All service installation work shall be in strict compliance with the requirements of the serving utilities. |
| Disclaimer: Interface Engineering, Inc. has contacted the utilities but has not received in writing the final requirements from the power utility. These drawings indicate our best estimation of their requirements. Prior to any construction contact the utilities and obtain in writing their requirements. |

Disclaimer: Interface Engineering, Inc. has contacted the utilities but has not received in writing the final requirements from the power utility. These drawings indicate our best estimation of their requirements. Prior to any construction contact the utilities and obtain in writing their requirements.



2 ENLARGED SITE PLAN - SERVICE EQUIPMENT

0' 4' 8' 16'

1/8" = 1'-0"

1 SITE PLAN - ELECTRICAL

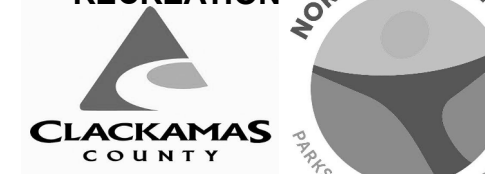
0' 20' 40'

1" = 20'-0"

www.opsisarch.com



Project Owner:
**NORTH CLACKAMAS
PARKS AND
RECREATION**



Project Name:
**CONCORD COMMUNITY
CENTER**

Project Address:
**3811 SE Concord Road,
Milwaukie, OR 97267**



THESE DRAWINGS ARE THE PROPERTY OF QPSIS ARCHITECTURE
LLP AND ARE NOT TO BE USED OR REPRODUCED IN ANY MANNER
WITHOUT PRIOR WRITTEN PERMISSION.

Revisions to Sheet

No.	Revision	Date
1	ADD-1	10/03/23
2	RFI-1	03/25/24
3	RFI-4	04/24/24

Status: **PERMIT SE**

Date: 09.14.20

Sheet Title
**SITE PLAN -
ELECTRICAL**

Sheet No. _____

E1.10

Job No. _____

4775-08



PCO #011

P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Potential Change Order #011: 23005 PCO011 Cloth Wiring Replacement

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	011 / 0	CONTRACT:	23005- - Concord CC Upgrades
REQUEST RECEIVED FROM:	Corey Donohue (Portland Electrical Construction Inc.)	CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Pending - In Review	CREATED DATE:	9/25/2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO011 Cloth Wiring Replacement

CHANGE REASON: Unforeseen Conditions

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

Upon investigating the new panel changeout in the boiler room (Panels B1, B2, and B3), it was discovered that the previous changeover never upgraded the wires after leaving the electrical room. The design team recommends that the old cloth wiring be replaced with new THHN wires.

ATTACHMENTS:

[concord_cc_upgrades-rfi#63-cloth_feeder_wires-202409252059.pdf](#) , [_574-005 - RFI 63 - Cloth Wire Replacement \(002\).pdf](#)

#	Budget Code	Description	Amount
1	26-050-___-.SUBS PECi	RFI 62 - Cloth Feeder Wire Replacement	\$16,389.00
2	01-020-___-.MAT'L Project Contingency	Borrowed Contingency	\$(16,389.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

Caroline Hather (Opsis Architecture)
920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County
150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction
2133 NW York Street
Portland, Oregon 97210

Signed by: Caroline Hather
January 22, 2025
65C5363E129D430...
SIGNATURE DATE

Signed by: Jason Varga
January 22, 2025
9B7445117B0943D...
SIGNATURE DATE

Signed by: Sonia Ayshod
October 14, 2024
76EE5A212F094B0...
SIGNATURE DATE



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

RFI #63

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Cloth Feeder Wires

TO:	Jennine Grasso (Interface Engineering, Inc) Caroline Hather (Opsis Architecture)	FROM:	Del Hanson (Portland Electrical Construction Inc) 21187 Highway 99 NE Aurora, Oregon 97002
DATE INITIATED:	09/09/ 2024	DUE DATE:	09/16/2024
DRAWING NUMBER:		SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Atlee Dodge (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Del Hanson (Portland Electrical Construction Inc.) at 01:08 PM on 09/06/2024

Upon investigating the new panel changeout in the boiler room (Panels B1, B2, and B3), it was discovered that the previous changeover never upgraded the wires after leaving the electrical room. There is a J-box outside the electrical room that still has the old cloth wiring for the panel feeders. Do these wires need to be updated to the new copper THHN wires?

Attachments:
[E3.11_ LOWER LEVEL FLOOR PLAN - POWER Rev.2 markup \(1\).pdf](#) [IMG_1849.jpg](#)

Official Response: Caroline Hather (Opsis Architecture) responded on Monday, September 16th, 2024 at 9:42AM PDT
Please provide cost for updating the wires for owner review and confirmation.

Attachments:

Official Response: Jennine Grasso (Interface Engineering, Inc) responded on Thursday, September 12th, 2024 at 10:34AM PDT
Please see Interface response attached. Thank you.

Attachments:
[23005-Concord_CC_Upgrades-63-Cloth_Feeder_Wires_IEI Response.pdf](#)



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Cloth Feeder Wires

TO:	Jennine Grasso (Interface Engineering, Inc) Caroline Hather (Opsis Architecture)	FROM:	Del Hanson (Portland Electrical Construction Inc) 21187 Highway 99 NE Aurora, Oregon 97002
DATE INITIATED:	09/09/ 2024	DUE DATE:	09/16/2024
DRAWING NUMBER:		SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO: Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Atlee Dodge (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)			
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Del Hanson (Portland Electrical Construction Inc.) at 01:08 PM on 09/06/2024

Upon investigating the new panel changeout in the boiler room (Panels B1, B2, and B3), it was discovered that the previous changeover never upgraded the wires after leaving the electrical room. There is a J-box outside the electrical room that still has the old cloth wiring for the panel feeders. Do these wires need to be updated to the new copper THHN wires?

Attachments:
[E3.11_ LOWER LEVEL FLOOR PLAN - POWER Rev.2 markup \(1\).pdf](#) [IMG_1849.jpg](#)

All Replies:

Confirm with owner, but IEI recommends that the old cloth wiring be replaced with new THHN wires.

Brayam Cruz, Interface Engineering, 09/12/2024



Portland Electrical Construction, Inc.
21187 Highway 99E NE, Aurora, OR 97002
P: 503.655.2281 || F: 503.655.5033
PortlandElectrical.com

PECI CO Request #: 574-005
Request Date: 9/19/2024
Reference Number: RFI 63
Date: 9/19/2024
Project Name: Concord CC Upgrades
Contract #: 23005
Page Number: 1

P&C Construction
Contact: Sonia Axelrod
E-mail: S Axelrod@builtbypandc.com
2133 NW York St.
Portland, OR 97210
Telephone: 503.655.0165

Work Description

RFI 63 - Revise Feeders from existing Cloth Wire to Copper THHN-2/THWN-2

Panel B1 - 215' - 3 #3/0, 1 #4G CU
Panel B2 - 195' - 3 #3/0, 1 #4G CU
Panel B3 - 215' - 3 #3/0, 1#4G CU

Demo old wiring and replace with new / re-terminate in existing panels.

We reserve the right to correct this quote for errors and omissions.
This quote covers direct costs only and we reserve the right to claim for impact and consequential costs.
This price is good for acceptance within 10 days from the date of receipt.

Itemized Breakdown

Description	Qty	Net Price U	Total Mat.	Labor U	Total Hrs.
#3/0 THHN BLACK	1,875	4,060.68 M	7,613.77	18.80 M	35.25
# 4 THHN GREEN	625	1,027.56 M	642.23	10.20 M	6.38
# 4 WIRE POWER TERM	6	0.00 E	0.00	0.21 E	1.26
#3/0 WIRE POWER TERM	18	0.00 E	0.00	0.39 E	7.02
DEMO EXISTING 3/0 WIRE	1,875	0.00 E	0.00	8.00 M	15.00
Totals	4,399		8,256.00		64.91

Summary

MATERIAL		8,256.00
MATERIAL MARKUP (@ 10.000 %)		825.60
LABOR		
ELECTRICIAN (64.91 Hrs @ \$94.76)	6,150.87	
FIELD SUPERVISION (5.19 Hrs @ \$94.76)	491.80	
LABOR MARKUP (@ 10.000 %)	664.27	
TOTAL MATERIAL & LABOR		16,388.54
FINAL AMOUNT		\$16,388.54

Authorization to proceed

Name:

Date:

Signature:

I hereby accept this change order request and authorize the contractor to complete the above described work.



PCO #009

P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Potential Change Order #009: 23005 PCO09 RFI 42.1
Additional Grid 4 Blocking & Pythons

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	009 / 0	CONTRACT:	23005- - Concord CC Upgrades
REQUEST RECEIVED FROM:		CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Pending - In Review	CREATED DATE:	9/11/2024
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO09 RFI 42.1 Additional Grid 4 Blocking & Pythons

CHANGE REASON: Added Scope

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #026 - RFI 42.1 Grid 4 Blocking
Additional blocking, python anchors, and wall that are required at Grid 4, per RFI 42.1 response.

ATTACHMENTS:

[concord_cc_upgrades-rfi#42.1-grid_4_blocking-202409112054.pdf](#) , [_COR 16 - RFI 42.1 Grid 4 Blocking and Pony Wall.pdf](#)

#	Budget Code	Description	Amount
1	03-000-____-.SUBS Ward-Henshaw	RFI 42.1 Grid 4 Blocking	\$7,139.00
2	01-020-____-.MAT'L Project Contingency	Borrowed Contingency	\$(7,139.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

Caroline Hather (Opsis Architecture)
920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County
150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction
2133 NW York Street
Portland, Oregon 97210

Signed by:
Signed by:

65C5363E129D430...
January 22, 2025
September 16, 2024
SIGNATURE DATE

Signed by:
Signed by:

9B7445117BD543D...
January 22, 2025
September 17, 2024
SIGNATURE DATE

Signed by:

78EE5A212F094B0...
January 22, 2025
September 17, 2024
SIGNATURE DATE



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Grid 4 Blocking

TO:	John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Atlee Dodge (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	08/15/ 2024	DUE DATE:	08/22/2024
DRAWING NUMBER:	A1.20	SPEC SECTION:	
LINKED DRAWINGS:	A1.20		
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Atlee Dodge (P&C Construction) at 12:43 PM on 08/15/2024

RFI-42 directed the install of blocking per RFI-23 along grid 4 and grid 11. On Grid 4 the lower roof framing (from the addition) extends on top of the gym roof approximately four feet at the peak. To install this correctly the entire section of decking and rafters would need to be removed. Please review whether this section of blocking could be eliminated from grid D to H. If not, is there a way to detail this so that the lower roof framing could stay intact?

Attachments:
[RFI-42 grid 4 blocking.pdf](#)

Official Response: Caroline Hather (Opsis Architecture) responded on Monday, August 26th, 2024 at 2:15PM PDT
Please proceed based on Catena Response.

Attachments:

Official Response: John Murphy (Catena Consulting Engineers) responded on Thursday, August 22nd, 2024 at 4:11PM PDT
See attached pdf.

Attachments:
[RFI 42.1 - concord_cc_upgrades-rfi#42.1-grid_4_blocking-202408221706.catena.pdf](#)

All Replies:

Response from Caroline Hather (Opsis Architecture) at 02:15 PM on 08/26/2024

Please proceed based on Catena Response.

Attachments:



RFI #42.1

Response from John Murphy (Catena Consulting Engineers) at 04:11 PM on 08/22/2024

See attached pdf.

Attachments:

[RFI 42.1 - concord_cc_upgrades-rfi#42.1-grid_4_blocking-202408221706.catena.pdf](#)



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Grid 4 Blocking

TO:	John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Atlee Dodge (P&C Construction) 2133 NW York Street Portland, Oregon 97210
DATE INITIATED:	08/15/ 2024	DUE DATE:	08/22/2024
DRAWING NUMBER:	A1.20	SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO: Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)			
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Atlee Dodge (P&C Construction) at 12:43 PM on 08/15/2024

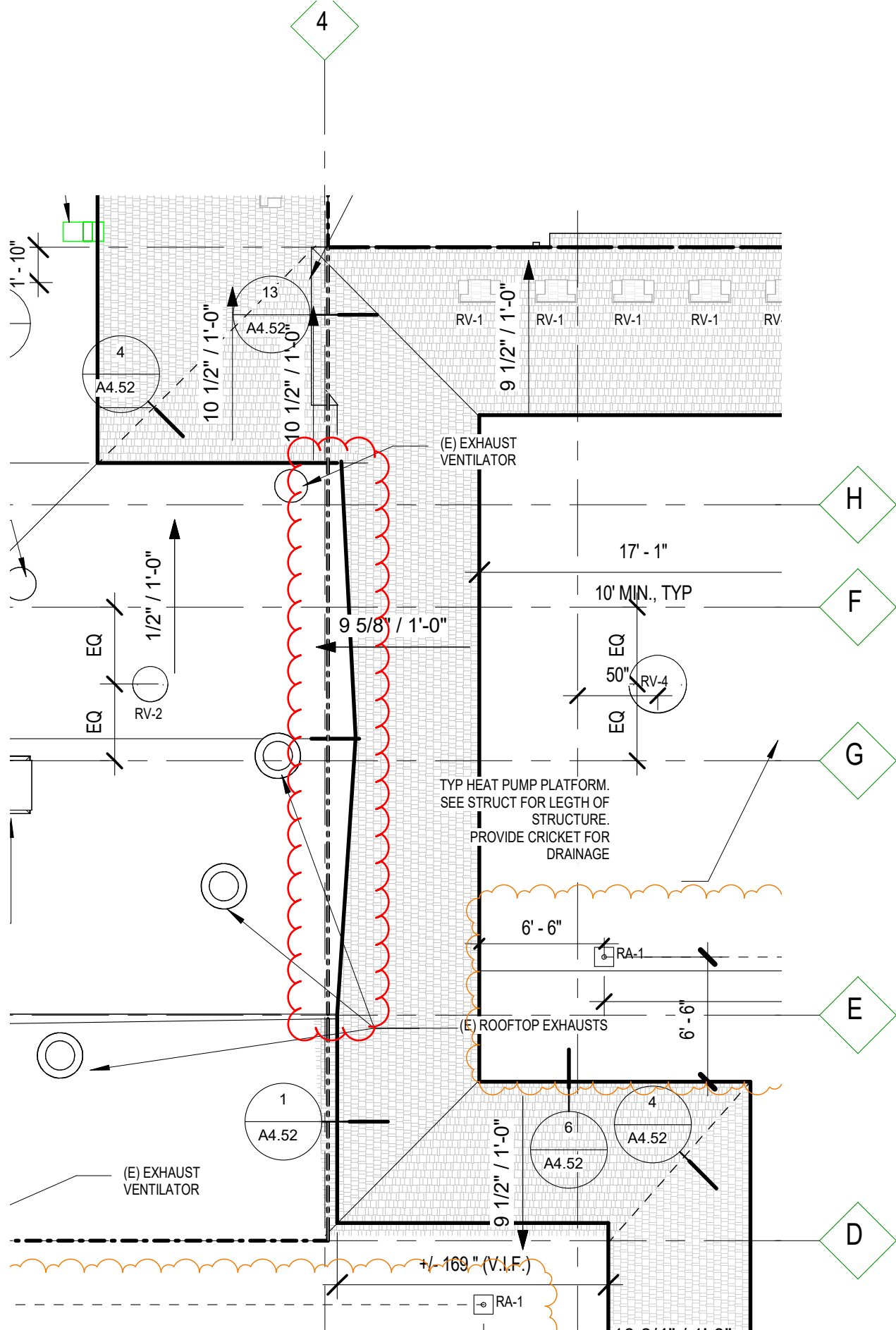
RFI-42 directed the install of blocking per RFI-23 along grid 4 and grid 11. On Grid 4 the lower roof framing (from the addition) extends on top of the gym roof approximately four feet at the peak. To install this correctly the entire section of decking and rafters would need to be removed. Please review whether this section of blocking could be eliminated from grid D to H. If not, is there a way to detail this so that the lower roof framing could stay intact?

Attachments:
[RFI-42 grid 4 blocking.pdf](#)

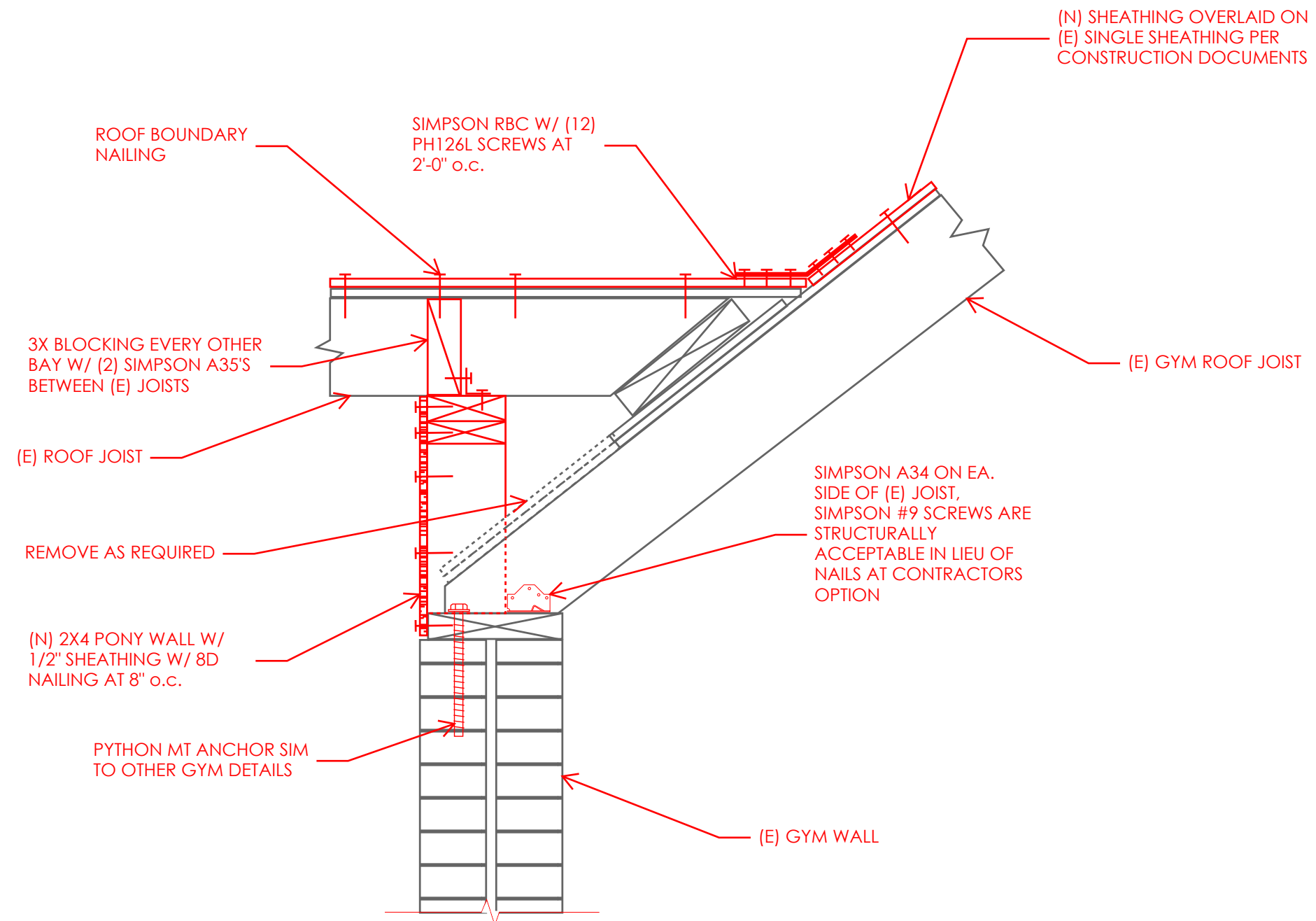
All Replies:

JBM, CATENA (8/22/24)

SEE ATTACHED SKETCH SK/42.1 SHOWING THE STRUCTURAL REQUIREMENTS AT THIS UNFORSEEN CONDITION.





$$1 \frac{1}{2}'' = 1'-0''$$




CHANGE ORDER REQUEST

RECORD NO: COR 16

REFERENCE: RFI 42.1

PROJECT: Concord Community Center

DATE: 8/28/2024
DATE OF WORK: TBD
PROJECT NO: 23644
OWNER: Clackamas County

CONTRACTOR'S REP: Sonia Axelrod

DESCRIPTION OF WORK:

Provide labor, equipment, and materials for the additional blocking, python anchors, and wall that are required at Grid 4, per RFI 42.1 response.

Description	QTY			SUB	Hrs	Rate	Labor		Matl.		Equip	Total Cost
Labor				\$ -	0		\$ -		\$ -		\$ -	\$ -
Tradesman	48	hrs		\$ -	48.0	91.19	\$ 4,377.12		\$ -		\$ -	\$ 4,377.12
Trades Foreman	5	hrs		\$ -	5	99.40	\$ 497.00		\$ -		\$ -	\$ 497.00
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Materials				\$ -	0		\$ -		\$ -		\$ -	\$ -
2x4	67	bf		\$ -	0		\$ -	0.85	\$ 56.95		\$ -	\$ 56.95
3x8	100	bf		\$ -	0		\$ -	2.25	\$ 225.00		\$ -	\$ 225.00
1/2" Plywood	128	sf		\$ -	0		\$ -	0.85	\$ 108.80		\$ -	\$ 108.80
13.5" Pythons	25	ea		\$ -	0		\$ -	21.70	\$ 542.50		\$ -	\$ 542.50
A34's/A35's	45	ea		\$ -	0		\$ -	1.04	\$ 46.80		\$ -	\$ 46.80
Simpson RBC	20	ea		\$ -	0		\$ -	3.00	\$ 60.00		\$ -	\$ 60.00
Misc Fasteners	1	ls		\$ -	0		\$ -	175.00	\$ 175.00		\$ -	\$ 175.00
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Equipment				\$ -	0		\$ -		\$ -		\$ -	\$ -
YES	1	ls		\$ -	0		\$ -		\$ -	243.71	\$ 243.71	\$ 243.71
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Consumables	1	ls		\$ -	0		\$ -	146.22	\$ 146.22		\$ -	\$ 146.22
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Subtotals				\$ -	53		\$ 4,874.12		\$ 1,361.27		\$ 243.71	\$ 6,479.10
Ward-Henshaw - OH & P-10% - Labor												\$ 487.41
Ward-Henshaw - OH & P-10% - Materials												\$ 136.13
Ward-Henshaw - OH & P-10% - Equipment												\$ 36.56
Ward-Henshaw - OH & P-5% - Subcontractor												\$ -
Ward-Henshaw - Insurance - 1.15%												\$ -
GRAND TOTAL												\$ 7,139

Signatures:	
Comments:	P&C Construction Co. Date
	Ward-Henshaw Construction Date



PCO #002

P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Potential Change Order #002: 23005 PCO02 RFI 009
Perimeter Seismic Detail Changes

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	002 / 0	CONTRACT:	23005- - Concord CC Upgrades
REQUEST RECEIVED FROM:		CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Approved	CREATED DATE:	6/20/2024
REFERENCE:	RFI 009	PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO02 RFI 009 Perimeter Seismic Detail Changes

CHANGE REASON: Unforeseen Conditions

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #003 - RFI #9: Perimeter Seismic Detail Clarification

After site investigation of the perimeter of the roof, it was discovered that the existing conditions do not reflect the detail 2/S7.02. In detail 2/S7.02, there is an existing board on the face at the exterior on the top of the 3x plate and the sketches only show 4 1/2" exposed. The solution provided by structural in the RFI includes new 3x blocking at every bay with wood screws and an A34 at each end of the blocking. This detail is used for the majority of the perimeter seismic work, excluding the gym roof connection which will be included in a separate change event.

ATTACHMENTS:

[rfi#9-perimeter_seismic_detail_clarification_-202406202052.pdf](#) , [_COR 4 - RFI 9 Perimeter Blocking SK2.pdf](#)

#	Budget Code	Description	Amount
1	03-000-__-.SUBS Ward-Henshaw	RFI 009 - Perimeter Seismic Detail Clarification	\$23,234.00
2	01-020-__-.MAT'L Project Contingency	Borrowed Contingency	\$(23,234.00)
Subtotal:			\$0.00
Builder's Risk (≈ 0.6% Applies to all line item types.):			\$0.00
Liability Insurance (≈ 1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (≈ 0.95% Applies to all line item types.):			\$0.00
Fee (≈ 2.45% Applies to all line item types.):			\$0.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

Caroline Hather (Opsis Architecture)
920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County
150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction
2133 NW York Street
Portland, Oregon 97210

Signed by:
Signed by:

65C5363E129D430...
January 22, 2025
September 10, 2024
SIGNATURE DATE

Signed by:
Signed by:

9B7445117B0543D...
January 22, 2025
September 17, 2024
SIGNATURE DATE

Signed by:

78EE5A212F094B0...
January 22, 2025
September 17, 2024
SIGNATURE DATE



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Perimeter Seismic Detail Clarification

TO:	Jared Lewis (Catena Consulting Engineers) John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Chris Schultz (Ward-Henshaw) 505 N Baker Drive Canby, Oregon 97013
DATE INITIATED:	05/30/ 2024	DUE DATE:	06/06/2024
DRAWING NUMBER:	S7.02	SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Chris Schultz (Ward-Henshaw) at 10:37 AM on 05/30/2024

After site investigation of the perimeter of the roof, it was discovered that the existing conditions do not reflect details 2&3/S7.02. See attached photos and sketch showing existing conditions.

There are concerns that attaching 2 A35's to the new 2x blocking will split lumber. Please advise if this blocking should be adjusted. (See photos classroom int.1 & gym int. 2)

In detail 2/S7.02 there is an existing board on the face at the exterior on top of the 3x plate. Sketches show only 4 1/2" exposed. Please advise if this board should be removed to accommodate new block. If removed, the gutter will also need to be removed.

In detail 3/S7.02, the brick at the face is lower and the existing plate is resting on the interior brick (see photo gym int. 1). Please advise if the python anchor should be moved to this brick.

Attachments:
[gym int. 1.jpg](#) [gym ext. 2.jpg](#) [gym ext. 1.jpg](#) [gym int. 2.jpg](#) [classroom int. 1.jpg](#) [Roof connection RFI detail.pdf](#)

Official Response: Caroline Hather (Opsis Architecture) responded on Wednesday, June 19th, 2024 at 12:00PM PDT

Understood per OAC 06/19 that modification indicated to 2/S7.02 will work but that there are concerns regarding the proposed 3/S7.02 detail. P&C are to provide additional information to illustrate the concerns so that Catena can provide an updated response.

Attachments:

Official Response: John Murphy (Catena Consulting Engineers) responded on Tuesday, June 18th, 2024 at 10:16AM PDT



RFI #9

PLEASE SEE ATTACHED SKETCHES SK/2 AND SK/3 SHOWING MODIFICATIONS TO DETAILS 2 AND 3/S7.02 TO REFLECT SITE VERIFIED CONDITIONS.

Attachments:

[23005-Concord_CC_Upgrades-9-Perimeter_Seismic_Detail_Clarification-2024-06-11.catena.pdf](#)



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Perimeter Seismic Detail Clarification

TO:	John Murphy (Catena Consulting Engineers) Jared Lewis (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Chris Schultz (Ward-Henshaw) 505 N Baker Drive Canby, Oregon 97013
DATE INITIATED:	05/30/ 2024	DUE DATE:	06/06/2024
DRAWING NUMBER:	S7.02	SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO: Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)			
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Chris Schultz (Ward-Henshaw) at 10:37 AM on 05/30/2024

After site investigation of the perimeter of the roof, it was discovered that the existing conditions do not reflect details 2&3/S7.02. See attached photos and sketch showing existing conditions.

There are concerns that attaching 2 A35's to the new 2x blocking will split lumber. Please advise if this blocking should be adjusted. (See photos classroom int.1 & gym int. 2)

In detail 2/S7.02 there is an existing board on the face at the exterior on top of the 3x plate. Sketches show only 4 1/2" exposed. Please advise if this board should be removed to accommodate new block. If removed, the gutter will also need to be removed.

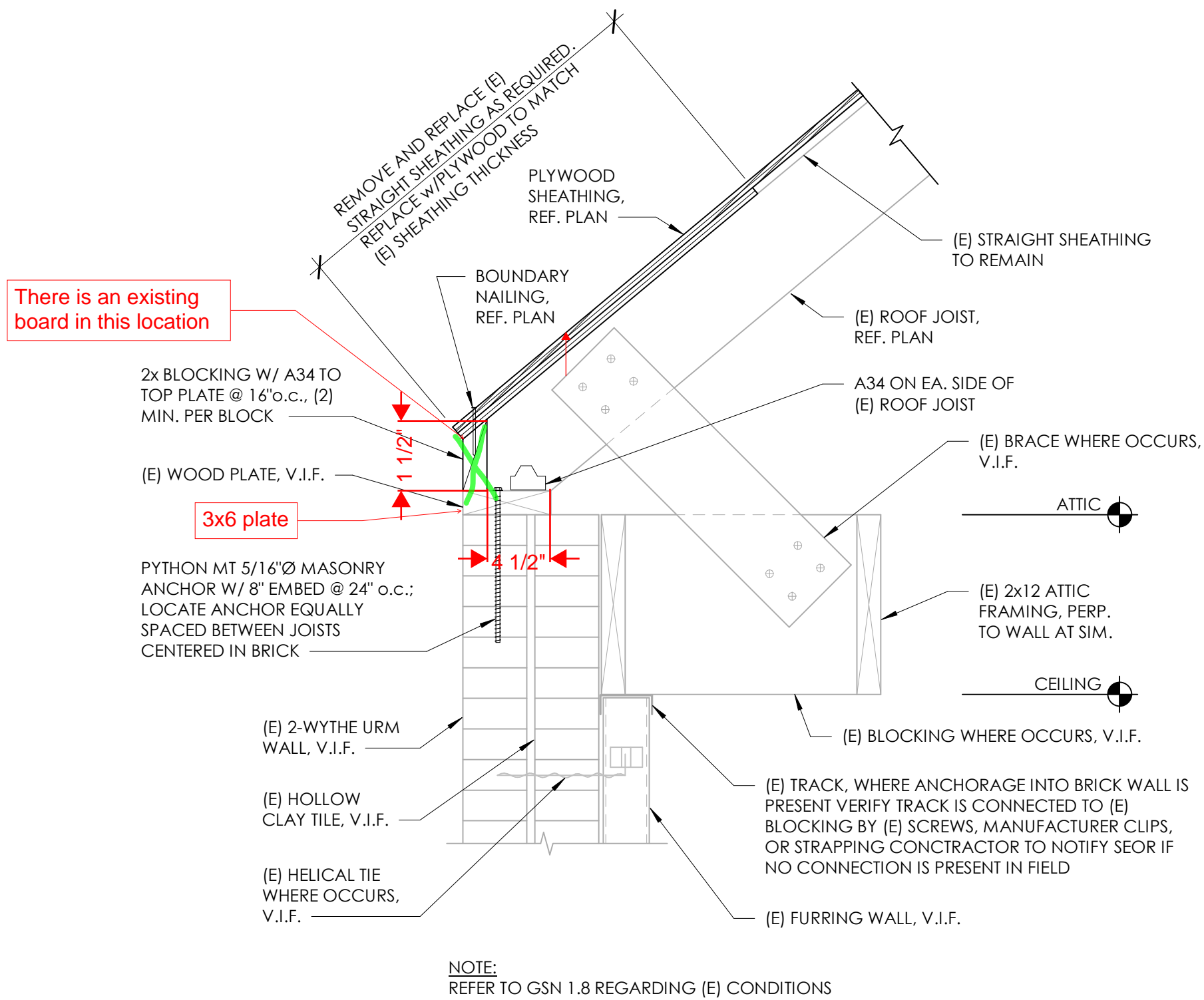
In detail 3/S7.02, the brick at the face is lower and the existing plate is resting on the interior brick (see photo gym int. 1). Please advise if the python anchor should be moved to this brick.

Attachments:
[gym int. 1.jpg](#) [gym ext. 2.jpg](#) [gym ext. 1.jpg](#) [gym int. 2.jpg](#) [classroom int. 1.jpg](#) [Roof connection RFI detail.pdf](#)

All Replies:

JBM, CATENA

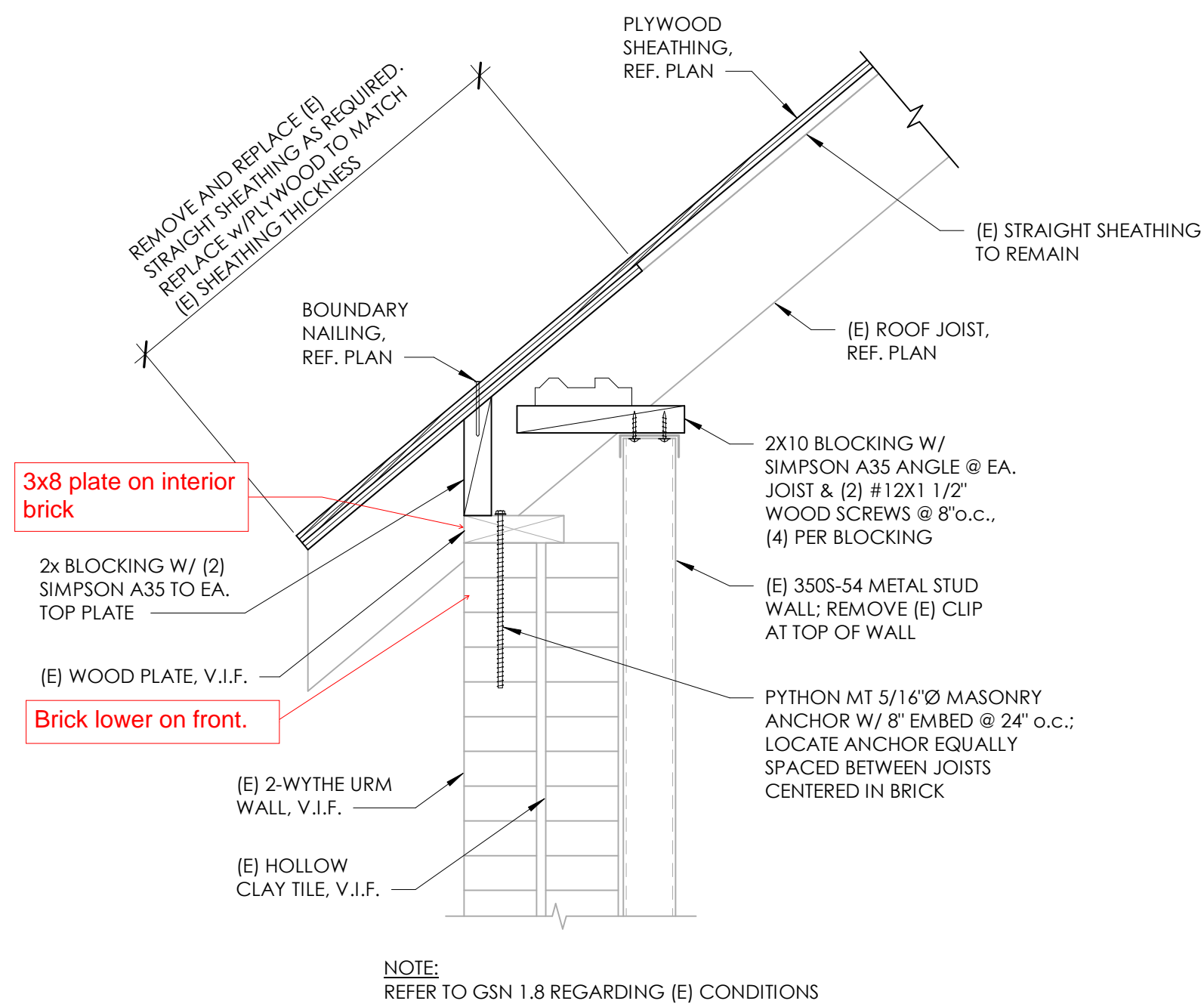
PLEASE SEE ATTACHED SKETCHES SK/2 AND SK/3 SHOWING MODIFICATIONS TO DETAILS 2 AND 3/S7.02 TO REFLECT SITE VERIFIED CONDITIONS.



2

ROOF CONNECTION TO WALL

1 1/2" = 1'-0"



3

GYM ROOF CONNECTION

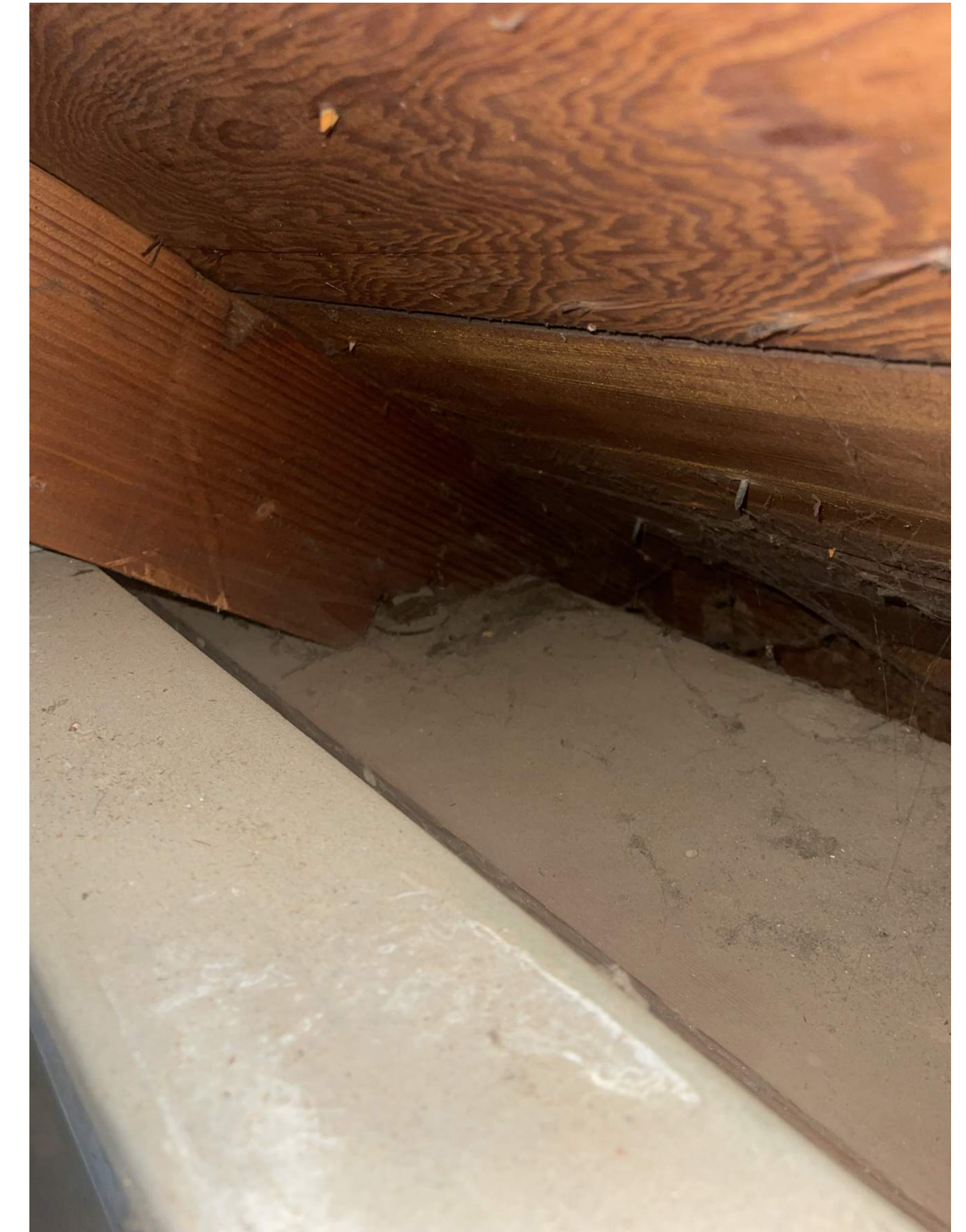
1 1/2" = 1'-0"



CLASSROOM INT 1



GYM INT 1



GYM INT 2



GYM EXT 1



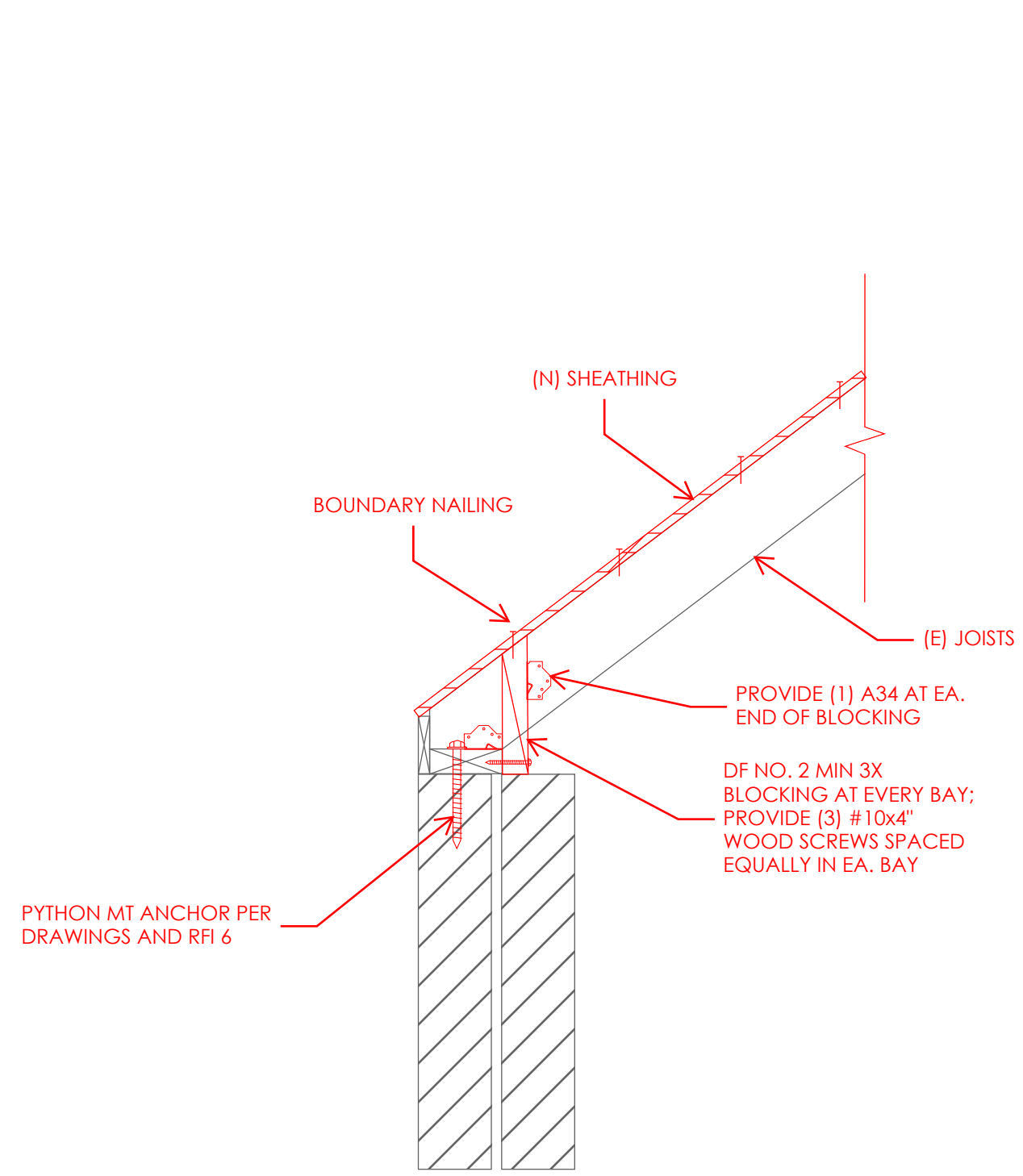
GYM EXT 2



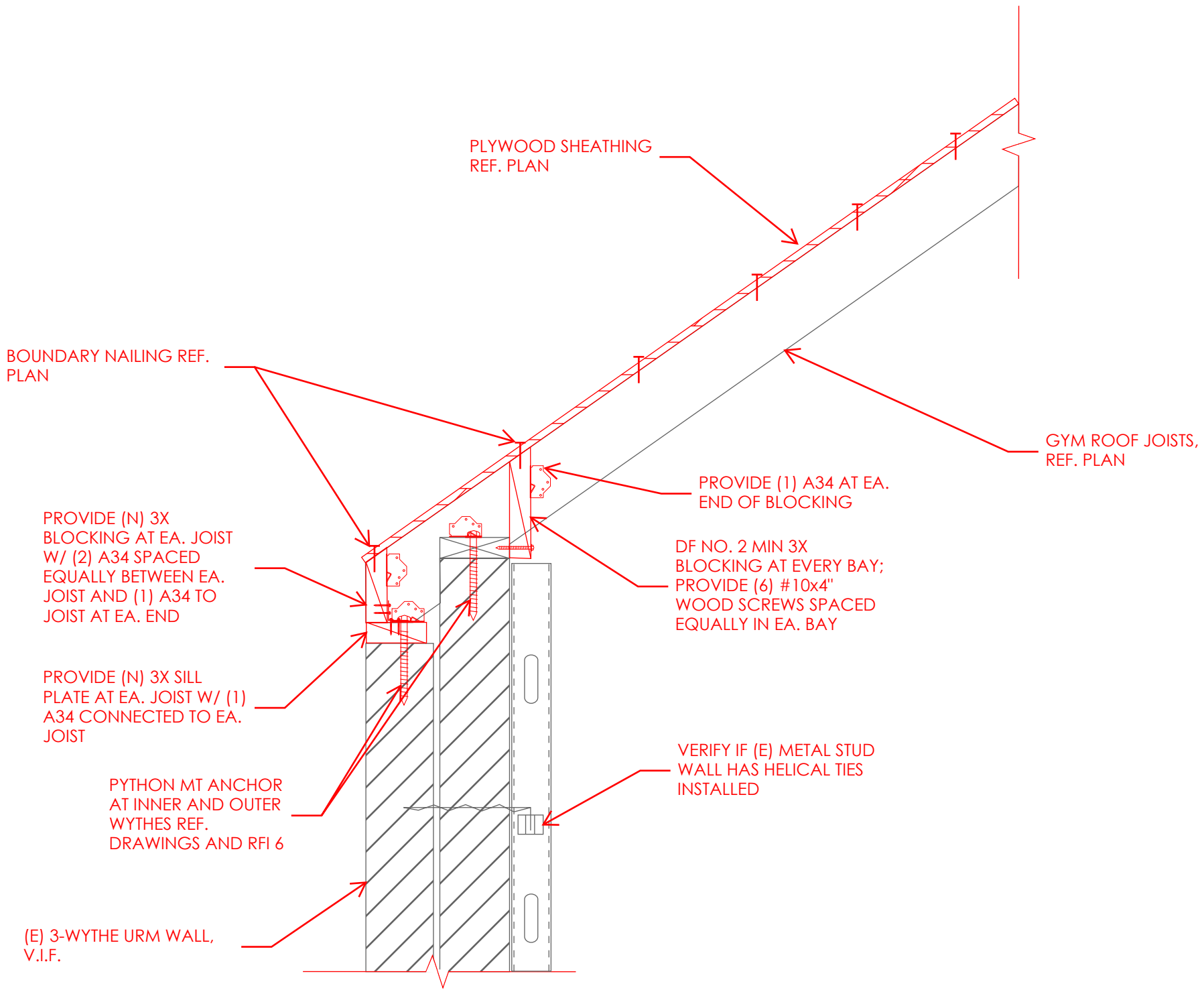
2/7.02 DIMS



2/7.02 DIMS



SK 2 **UPDATED CLASSROOM ROOF CONNECTION**
N.T.S.



SK 3 **UPDATED GYM ROOF CONNECTION**
N.T.S.



CHANGE ORDER REQUEST

RECORD NO: COR 4

REFERENCE: RFI 9

PROJECT: Concord Community Center

DATE: 6/20/2024
DATE OF WORK: TBD
PROJECT NO: 23644
OWNER: Clackamas County

CONTRACTOR'S REP: Sonia Axelrod

DESCRIPTION OF WORK:

Provide labor, equipment, and materials for the modifications for the perimeter blocking, due to existing conditions, per RFI 9 response. This is pricing only SK2 which would be replacing only the 2/S701 detail. 1&3/S701 are not included in the below pricing, which is approx. 230 LF in additional perimeter work.

Description	QTY			SUB	Hrs	Rate	Labor		Matl.		Equip	Total Cost
2/S701 Original Detail - CREDIT				\$ -	0		\$ -		\$ -		\$ -	\$ -
2x6 Block	-570	bf		\$ -	(52.0)	91.19	\$ (4,741.88)	0.85	\$ (484.50)		\$ -	\$ (5,226.38)
A34	-855	ea		\$ -	(36)	91.19	\$ (3,282.84)	1.00	\$ (855.00)		\$ -	\$ (4,137.84)
				\$ -	0		\$ -		\$ -		\$ -	\$ -
2/S701 SK2 - ADD				\$ -	0		\$ -		\$ -		\$ -	\$ -
3x10 Block	1425	bf		\$ -	164.5	91.19	\$ 15,000.76	1.47	\$ 2,094.75		\$ -	\$ 17,095.51
A34	1710	ea		\$ -	72	91.19	\$ 6,565.68	1.00	\$ 1,710.00		\$ -	\$ 8,275.68
Wood Screws	1140	ea		\$ -	0		\$ -	0.26	\$ 300.00		\$ -	\$ 300.00
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Equipment				\$ -	0		\$ -		\$ -		\$ -	\$ -
BYES	1	ls		\$ -	0		\$ -		\$ -	677.09	\$ 677.09	\$ 677.09
Boom Lift - 2 EA for 1 wk	2	wk		\$ -	0		\$ -		\$ -	1770.00	\$ 3,540.00	\$ 3,540.00
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Consumables	1	ls		\$ -	0		\$ -	406.25	\$ 406.25		\$ -	\$ 406.25
				\$ -	0		\$ -		\$ -		\$ -	\$ -
Subtotals				\$ -	148.5		\$ 13,541.72		\$ 3,171.50		\$ 4,217.09	\$ 20,930.30
Ward-Henshaw - OH & P-10% - Labor												\$ 1,354.17
Ward-Henshaw - OH & P-10% - Materials												\$ 317.15
Ward-Henshaw - OH & P-10% - Equipment												\$ 632.56
Ward-Henshaw - OH & P-5% - Subcontractor												\$ -
Ward-Henshaw - Insurance - 1.15%												\$ -
GRAND TOTAL												\$ 23,234

Signatures:	
Comments:	P&C Construction Co. Date Ward-Henshaw Construction Date



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Perimeter Seismic Detail Clarification

TO:	Jared Lewis (Catena Consulting Engineers) John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Chris Schultz (Ward-Henshaw) 505 N Baker Drive Canby, Oregon 97013
DATE INITIATED:	05/30/ 2024	DUE DATE:	06/06/2024
DRAWING NUMBER:	S7.02	SPEC SECTION:	
LINKED DRAWINGS:			
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Darin Meisenheimer (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	TBD	SCHEDULE IMPACT:	TBD

Question from Chris Schultz (Ward-Henshaw) at 10:37 AM on 05/30/2024

After site investigation of the perimeter of the roof, it was discovered that the existing conditions do not reflect details 2&3/S7.02. See attached photos and sketch showing existing conditions.

There are concerns that attaching 2 A35's to the new 2x blocking will split lumber. Please advise if this blocking should be adjusted. (See photos classroom int.1 & gym int. 2)

In detail 2/S7.02 there is an existing board on the face at the exterior on top of the 3x plate. Sketches show only 4 1/2" exposed. Please advise if this board should be removed to accommodate new block. If removed, the gutter will also need to be removed.

In detail 3/S7.02, the brick at the face is lower and the existing plate is resting on the interior brick (see photo gym int. 1). Please advise if the python anchor should be moved to this brick.

Attachments:
[gym int. 1.jpg](#) [gym ext. 2.jpg](#) [gym ext. 1.jpg](#) [gym int. 2.jpg](#) [classroom int. 1.jpg](#) [Roof connection RFI detail.pdf](#)

Official Response: Caroline Hather (Opsis Architecture) responded on Wednesday, June 19th, 2024 at 12:00PM PDT

Understood per OAC 06/19 that modification indicated to 2/S7.02 will work but that there are concerns regarding the proposed 3/S7.02 detail. P&C are to provide additional information to illustrate the concerns so that Catena can provide an updated response.

Attachments:

Official Response: John Murphy (Catena Consulting Engineers) responded on Tuesday, June 18th, 2024 at 10:16AM PDT



PLEASE SEE ATTACHED SKETCHES SK/2 AND SK/3 SHOWING MODIFICATIONS TO DETAILS 2 AND 3/S7.02 TO REFLECT SITE VERIFIED CONDITIONS.

Attachments:

[23005-Concord_CC_Upgrades-9-Perimeter_Seismic_Detail_Clarification-2024-06-11.catena.pdf](#)

All Replies:**Response from Caroline Hather (Opsis Architecture) at 12:00 PM on 06/19/2024**

Understood per OAC 06/19 that modification indicated to 2/S7.02 will work but that there are concerns regarding the proposed 3/S7.02 detail. P&C are to provide additional information to illustrate the concerns so that Catena can provide an updated response.

Attachments:**Response from John Murphy (Catena Consulting Engineers) at 10:16 AM on 06/18/2024**

PLEASE SEE ATTACHED SKETCHES SK/2 AND SK/3 SHOWING MODIFICATIONS TO DETAILS 2 AND 3/S7.02 TO REFLECT SITE VERIFIED CONDITIONS.

Attachments:

[23005-Concord_CC_Upgrades-9-Perimeter_Seismic_Detail_Clarification-2024-06-11.catena.pdf](#)

Response from Hunter Karnopp (P&C Construction) at 02:57 PM on 06/11/2024

Please see attached for a sketch of the existing conditions and our proposed changes. We recommend using the LTP4 over the A35s so that the connection is visible for future work and inspections. Please advise.

Attachments:

[Roof connection RFI detail.pdf](#)



PCO #003

P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Potential Change Order #003: 23005 PCO03 RFI 006 ADD-2 Python

TO:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	003 / 0	CONTRACT:	23005- - Concord CC Upgrades
REQUEST RECEIVED FROM:		CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Approved	CREATED DATE:	6/20/2024
REFERENCE:	RFI 006	PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$0.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO03 RFI 006 ADD-2 Python

CHANGE REASON: Unforeseen Conditions

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

CE #004 - RFI #6: ADD-2 Python MT Anchor Lengths and Embedment

In order to get the correct embedment depth, the Python MT 13 1/2" will be needed instead of the 9" because of the 3x8 wood plate that was discovered during site investigation.

ATTACHMENTS:

[COR 2 - Python Embedment.pdf](#)

#	Budget Code	Description	Amount
1	03-000-____-.SUBS Ward-Henshaw	RFI #6: ADD-2 Python MT Anchor	\$5,756.00
2	01-020-____-.MAT'L Project Contingency	Borrowed Contingency	\$(5,756.00)
Subtotal:			\$0.00
Builder's Risk (≈ 0.61% Applies to all line item types.):			\$0.00
Liability Insurance (≈ 1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bond (≈ 0.96% Applies to all line item types.):			\$0.00
Fee (≈ 2.45% Applies to all line item types.):			\$0.00
CAT Tax (≈ 0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

Caroline Hather (Opsis Architecture)

920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County

150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction

2133 NW York Street
Portland, Oregon 97210

Signed by:
Signed by:

65C5363E129D430...
SIGNATURE
January 22, 2025
DATE

Signed by:
Signed by:

9B7445117BD543D...
SIGNATURE
January 22, 2025
DATE

Signed by:

76EE5A212F094B0...
SIGNATURE
September 17, 2024
DATE



CHANGE ORDER REQUEST

RECORD NO: COR 2

REFERENCE: RFI 6

PROJECT: Concord Community Center

DATE: 6/19/2024
DATE OF WORK: TBD
PROJECT NO: 23644
OWNER: Clackamas County

CONTRACTOR'S REP: Sonia Axelrod

DESCRIPTION OF WORK:

Provide labor, equipment, and materials for the longer Python bolt in order to achieve the desired embedment, per RFI 6 response. Due to existing conditions with the thicker top plate.

Description	QTY			SUB	Hrs	Rate	Labor		Matl.		Equip	Total Cost
Labor				\$ - 0			\$ -		\$ -		\$ -	\$ -
Tradesman	17.5	hrs		\$ - 17.5	91.19		\$ 1,595.83		\$ -		\$ -	\$ 1,595.83
Trades Foreman	2	hrs		\$ - 2	99.40		\$ 198.80		\$ -		\$ -	\$ 198.80
				\$ - 0			\$ -		\$ -		\$ -	\$ -
				\$ - 0			\$ -		\$ -		\$ -	\$ -
Materials				\$ - 0			\$ -		\$ -		\$ -	\$ -
CREDIT Python Bolts -	-350	EA		\$ - 0			\$ - 8.50		\$ (2,975.00)		\$ -	\$ (2,975.00)
ADD Python Bolts - 13.5"	350	EA		\$ - 0			\$ - 17.90		\$ 6,265.00		\$ -	\$ 6,265.00
				\$ - 0			\$ -		\$ -		\$ -	\$ -
				\$ - 0			\$ -		\$ -		\$ -	\$ -
Equipment				\$ - 0			\$ -		\$ -		\$ -	\$ -
BYES	1	ls		\$ - 0			\$ -		\$ - 89.73		\$ 89.73	\$ 89.73
				\$ - 0			\$ -		\$ -		\$ -	\$ -
Consumables	1	ls		\$ - 0			\$ - 53.84		\$ 53.84		\$ -	\$ 53.84
				\$ - 0			\$ -		\$ -		\$ -	\$ -
Subtotals				\$ - 19.5			\$ 1,794.63		\$ 3,343.84		\$ 89.73	\$ 5,228.20
Ward-Henshaw - OH & P-10% - Labor												\$ 179.46
Ward-Henshaw - OH & P-10% - Materials												\$ 334.38
Ward-Henshaw - OH & P-10% - Equipment												\$ 13.46
Ward-Henshaw - OH & P-5% - Subcontractor												\$ -
Ward-Henshaw - Insurance - 1.15%												\$ -
GRAND TOTAL												\$ 5,756

Signatures:	
Comments:	P&C Construction Co. Date Ward-Henshaw Construction Date



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

Project: 23005 - Concord CC Upgrades
3811 SE Concord Road
Milwaukie, Oregon 97267

ADD-2 Python MT Anchor Lengths and Embedment

TO:	Jared Lewis (Catena Consulting Engineers) John Murphy (Catena Consulting Engineers) Caroline Hather (Opsis Architecture)	FROM:	Jason Asher (Ward-Henshaw) 505 N Baker Drive Canby, Oregon 97013
DATE INITIATED:	05/08/ 2024	DUE DATE:	05/13/2024
DRAWING NUMBER:	S7.02	SPEC SECTION:	
LINKED DRAWINGS:	S7.02		
COPIES TO:	Sonia Axelrod (P&C Construction), Jason Bragg (P&C Construction), Matt Burgard (P&C Construction), Caroline Hather (Opsis Architecture), Hunter Karnopp (P&C Construction), Mark Stoller (Opsis Architecture), Jason Varga (Clackamas County)		
COST IMPACT:	\$3,000.00	SCHEDULE IMPACT:	TBD

Question from Jason Asher (Ward-Henshaw) at 09:49 AM on 05/08/2024

Add-2 changed the roof anchoring to a Python MT anchor. Standard lengths shown on manufacturer's website are 6 3/8", 9", and 13 1/2", with custom length ordering available.

- Detail 2/S7.02 calls out for an 8" embedment, if we order a Python MT 9", the embedment would only be 8 1/2", is that acceptable?
- Detail 1/S7.02 calls out for a 6 1/2" NOM embedment, using a washer at the metal stud strong backs. Using the Python MT 6 3/8", the embedment would only be 6" +/-, depending how close the metal studs can be placed next to the wall. Would the 6" embedment be acceptable?

This question is to avoid any added costs for ordering "custom" lengths of anchors.

Official Response: Caroline Hather (Opsis Architecture) responded on Wednesday, June 19th, 2024 at 11:57AM PDT
Proceed per Catena Response.

Attachments:

Official Response: John Murphy (Catena Consulting Engineers) responded on Tuesday, June 18th, 2024 at 10:18AM PDT
It is structurally acceptable to use the Python MT 13 1/2" to acheive the correct embedment within the masonry.

Attachments:

Official Response: Hunter Karnopp (P&C Construction) responded on Monday, June 3rd, 2024 at 2:47PM PDT
In order to get the correct embedment, the Python MT 13 1/2" will be needed instead of the 9" because of the 2 1/2" above (3x8 inch wood plate). Please confirm that this is structurally acceptable.

**Attachments:****All Replies:****Response from Caroline Hather (Opsis Architecture) at 11:57 AM on 06/19/2024**

Proceed per Catena Response.

Attachments:**Response from John Murphy (Catena Consulting Engineers) at 10:18 AM on 06/18/2024**

It is structurally acceptable to use the Python MT 13 1/2" to achieve the correct embedment within the masonry.

Attachments:**Response from Hunter Karnopp (P&C Construction) at 02:47 PM on 06/03/2024**

In order to get the correct embedment, the Python MT 13 1/2" will be needed instead of the 9" because of the 2 1/2" above (3x8 inch wood plate). Please confirm that this is structurally acceptable.

Attachments:**Response from Caroline Hather (Opsis Architecture) at 09:51 AM on 05/13/2024**

No additional comments from Opsis, proceed per Catena response.

Attachments:**Response from Jared Lewis (Catena Consulting Engineers) at 09:13 AM on 05/13/2024**

The proposed embedments using the stock anchor lengths are structurally acceptable.

Attachments:



P&C Construction
2133 NW York St
Portland, Oregon 97210-2108
Phone: 503.665.0165

PCCO #003

Project: 21012 - Oak Lodge Library
3811 SE Concord Road
Milwaukie, Oregon 97267

Prime Contract Change Order #003: 21012 PCCO 03

TO:	Clackamas County 150 Beaver Creek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
DATE CREATED:	1/07/2025	CREATED BY:	Sonia Axelrod (P&C Construction)
CONTRACT STATUS:	Pending - In Review	REVISION:	0
DESIGNATED REVIEWER:		REVIEWED BY:	
DUE DATE:		REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
REVISED SUBSTANTIAL COMPLETION DATE:		SIGNED CHANGE ORDER RECEIVED DATE:	
CONTRACT FOR:	21012--Oak Lodge Library	TOTAL AMOUNT:	\$63,207.53
DESCRIPTION: Refill contingency bucket for PCOs 014, 037, and 038			
ATTACHMENTS:			

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO #	Title	Schedule Impact	Amount
014	21012 PCO 014 Drainage Design Changes		\$0.00
037	21012 PCO 037 Tree Removal by Owner's Vendor		\$0.00
038	21012 PCO 038 RFI 143: Concord Sidewalk		\$0.00
063	21012 PCO 063 Borrowed Contingency Refill Change Order		\$63,207.53
Total:			\$63,207.53

CHANGE ORDER LINE ITEMS:

PCO # 014: 21012 PCO 014 Drainage Design Changes

#	Budget Code	Description	Amount
1	31-001-___-.SUBS Konell	RFI 057 - Drainage Design Changes	\$23,335.00
2	01-020-___-.MAT'L Project Construction Contingency	Borrowed Contingency	\$(24,755.00)
3	02-210-___-.SUBS Terra Calc	Additional survey needed due to Design changes	\$1,420.00
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bonds (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 037: 21012 PCO 037 Tree Removal by Owner's Vendor

#	Budget Code	Description	Amount
1	31-001-___-.SUBS Konell	Remove 26 trees	\$31,350.00

**PCCO #003**

#	Budget Code	Description	Amount
2	01-020-____.MAT'L Project Construction Contingency		\$(31,350.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bonds (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 038: 21012 PCO 038 RFI 143: Concord Sidewalk

#	Budget Code	Description	Amount
1	32-160-____.SUBS Larusso	Added Sidewalk	\$3,682.00
2	01-020-____.MAT'L Project Construction Contingency	Borrowed Contingency	\$(3,682.00)
Subtotal:			\$0.00
Builder's Risk (0.60% Applies to all line item types.):			\$0.00
Liability Insurance (1.15% Applies to all line item types.):			\$0.00
Payment & Performance Bonds (0.95% Applies to all line item types.):			\$0.00
Fee (2.45% Applies to all line item types.):			\$0.00
CAT Tax (0.48% Applies to all line item types.):			\$0.00
Grand Total:			\$0.00

PCO # 063: 21012 PCO 063 Borrowed Contingency Refill Change Order

#	Budget Code	Description	Amount
1	01-020-____.MAT'L Project Construction Contingency	PCO 014	\$24,755.00
2	01-020-____.MAT'L Project Construction Contingency	PCO 037	\$31,350.00
3	01-020-____.MAT'L Project Construction Contingency	PCO 038	\$3,682.00
Subtotal:			\$59,787.00
Builder's Risk (0.60% Applies to all line item types.):			\$358.72
Liability Insurance (1.15% Applies to all line item types.):			\$687.55
Payment & Performance Bonds (0.95% Applies to all line item types.):			\$567.98
Fee (2.45% Applies to all line item types.):			\$1,504.33
CAT Tax (0.48% Applies to all line item types.):			\$301.95
Grand Total:			\$63,207.53

The original (Contract Sum)	\$20,100,316.00
Net change by previously authorized Change Orders	\$2,429,190.00
The contract sum prior to this Change Order was	\$22,529,506.00
The contract sum would be changed by this Change Order in the amount of	\$63,207.53
The new contract sum including this Change Order will be	\$22,592,713.53
The contract time will not be changed by this Change Order.	

Sina Meier (Opsis Architecture)

920 NW 17th Avenue
Portland, Oregon 97209

Clackamas County

150 Beavercreek Road
Oregon City, Oregon 97045

P&C Construction

2133 NW York Street
Portland, Oregon 97210

Signed by:

Sina Meier

7CAA7ZE759AD4E8...

SIGNATURE

January 8, 2025

DATE

Signed by:

Jason Varga

9B7445117BD543D...

SIGNATURE

January 8, 2025

DATE

DocuSigned by:

Brian Shoemaker

7CAA7ZE759AD45C...

SIGNATURE

January 11, 2025

DATE