

DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

DEVELOPMENT SERVICES BUILDING

150 Beavercreek Road Oregon City, OR 97045

BCC Agenda Date/Item: _____

June 5, 2025

Board of County Commissioners Clackamas County

Approval of an Amendment to a Contract with P&C Construction for Concord Community Center tenant improvement renovations and various Concord Park playground design changes. Amendment Value is \$1,032,416 for 4 months. Total Agreement Value is \$37,776,957.43 for 4 years. Funding is through budgeted System Development Charges. No County General Funds are involved.

Previous Board Action/Review	July 27, 2023 - Business approving construction of	•	d P&C Amendment #5			
	August 10, 2023 - Busine Construction IGA.	ess Meeting, Board appro	ved Oak Lodge Library			
	November 22, 2023 - Business Meeting, Board approved NCPRD Concord Park, Park Shelter, Splash Pad and Site Work					
	March 19, 2024 - Busines Center work	ss Meeting, Board approv	red NCPRD Community			
	May 9, 2024 - Business M purchase and installation					
	November 27, 2024 - Business Meeting, Board approved Concord Park Playground, SE Concord Rd improvements, project delays, permit design changes, contaminated soil, and Community Center renovations.					
	May 22, 2025 – Business Meeting, Board approved tree removal and other additional scope of work to the new Concord Park playground and Community Center renovations.					
Performance	This project aligns with the	e Vibrant Economy Goal:	It provides economic			
Clackamas			nment services to residents,			
	businesses, visitors, and partners so they can thrive and prosper in healthy					
	and vibrant communities.					
Counsel Review	Yes, AK 5/27/2025	Yes, AK 5/27/2025				
Contact Person	Jason Varga	Contact Phone	(503) 351-4012			

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EXECUTIVE SUMMARY: The current contract with P&C Construction includes a portion of the Concord playground and community center renovation work. This contract amendment contains additional work related to the playground, as well as community center tenant improvements.

Playground & Park Scope: This change order includes added costs for design modifications to the stone turtle and owl mound features. It also covers additional concrete slabs in sloped areas receiving synthetic turf, a material change for benches to ensure availability, and adjustments to the park shelter's concrete pad to align with sidewalk and field grading.

- Stone turtle design changes
- Owl mound concrete modifications
- Park bench material changes
- Park shelter and concrete pad changes

Community Center Renovation Scope: This change order includes the cost for interior design renovations. The scope of this renovation includes new paint, new flooring, lobby improvements, ADA accessibility improvements and other improvements for select areas in the Community Center. This also includes some minor regrading of the parking area behind the Community Center.

These costs are being covered by owner contingency funds included in the original project budget. No additional funding is being requested at this time.

RECOMMENDATION: Staff respectfully recommends the approval of contract #4537, amendment #12 with P&C Construction Co. for the Concord playground and community center renovation work.

Respectfully submitted,

Dan Johnson

Dan Johnson
Director of Transportation & Development

AMENDMENT #12 TO THE CONTRACT DOCUMENTS WITH P. & C. CONSTRUCTION CO. FOR OAK LODGE AND GLADSTONE LIBRARY CMGC Contract #4357

This Amendment #12 is entered into between **P. & C. Construction Co.** ("Contractor") and Clackamas County ("Owner") and shall become part of the Contract documents entered into between both parties on **September 30, 2021** ("Contract"). The Project contemplated by the Contract involves four distinct portions. This Amendment #12 primarily applies to the Concord Community Center portion of the Project, authorized by Amendment #7 to the Contract (the "Concord Community Center GMP Amendment").

The Purpose of this Amendment #12 is to make the following changes to the Contract:

1. Concord Community Center GMP Amendment Section 2, Authorized Construction Phase Services is hereby amended as follows:

Owner has approved additional Construction Phase Services including new tenant improvements in the Community Center, replacing the storm drainage system and parking lot behind the Community Center, and various added scopes from design changes for the new playground and park shelter. This additional Construction Phase Work is further described in **Exhibit A to this Amendment** #12, attached hereto and incorporated by reference herein.

2. Concord Community Center GMP Amendment Section 3, Guaranteed Maximum Price is hereby amended as follows:

In consideration for Contractor performing the additional Construction Phase Services authorized by this Amendment #12, Owner will pay Contractor an amount not to exceed \$1,032,416.00. Consideration is in accordance with the terms and conditions of the Contract. The total compensation for the Concord Community Center portion of the project shall not exceed \$7,504,530.53. The total project value for all four portions of the Project shall not exceed \$37,776,957.43.

3. Contract Amendment #10, Section 1 is hereby amended as follows:

As a result of the additional Construction Phase Services and permitting delays, the Substantial Completion date in Section 1 of Amendment #10 to the Contract for the Concord Park portion of this Project is hereby changed from July 8, 2025 to December 31, 2025.

ORIGINAL CONTRACT	\$ 88,780.00 (Preconstruction Fee)
AMENDMENT #1	\$ 270,054.00 (Early Work Amendment)
AMENDMENT #2	\$ 21,686.00 (Early Work Amendment)
AMENDMENT #3	\$ 136,681.00 (Early Work Amendment)
AMENDMENT #4	\$ 6,978,163.00 (GMP Gladstone Library)
AMENDMENT #5	\$15,314,232.00 (GMP Oak Lodge Library)
AMENDMENT #6	\$ 4,633,620.00 (GMP Concord Park)
AMENDMENT #7	\$ 6,160,262.00 (GMP Concord Community)
AMENDMENT #8	\$ 211,346.69 (Change order for GS Library GMP)
AMENDMENT #9	\$ 188,673.21 (Change Order for GS Library GMP)
AMENDMENT #10	\$2,606,964.00 (Library/Concord Park/Comm. Ctr)
AMENDMENT #11	\$ 134,079.53 (Change Order for Concord Project)
AMENDMENT #12	\$ 1,032,416.00 (Change Order for Concord Comm. Ctr)
TOTAL AMENDED CONTRACT	\$ 37,776,957.43

Signature Page Follows

Except as expressly amended above, all other terms and conditions of the Contract shall remain in full force and effect. By signature below, the parties agree to this Amendment #12, effective upon the date of the last signature below.

P. & C. Construction Co.		Clackamas County	
	5/22/2025		
Authorized Signature	Date	Chair	
Brian Shoemaker			
Printed Name		Date	
		Approved as to Form:	
		<u> (Xwanda IIII)</u>	5/27/2025
		County Counsel	Date

Exhibit A Additional Construction Phase Services



P&C Construction 2133 NW York St Portland, Oregon 97210-2108 Phone: 503.665.0165 **Project:** 21012 - Oak Lodge Library 3811 SE Concord Road Milwaukie, Oregon 97267

Prime Contract Change Order #004: 2012 PCCO 04

TO:	Clackamas County	FROM:	P&C Construction
	150 Beavercreek Road		2133 NW York Street
	Oregon City, Oregon 97045		Portland, Oregon 97210
DATE CREATED:	4/23/2025	CREATED BY:	Sonia Axelrod (P&C Construction)
CONTRACT STATUS:	Pending - In Review	REVISION:	0
DESIGNATED REVIEWER	:	REVIEWED BY:	
DUE DATE:		REVIEW DATE:	
INVOICED DATE:		PAID DATE:	
SCHEDULE IMPACT:		EXECUTED:	No
REVISED SUBSTANTIAL		SIGNED CHANGE ORDER	
COMPLETION DATE:		RECEIVED DATE:	
CONTRACT FOR:	21012-:Oak Lodge Library	TOTAL AMOUNT:	\$255,721.00

DESCRIPTION:

Cost to refill contingency for PCOs 050, 059, 062, 069, 071, 074, 075, and 076 and add PCOs 065, 077, 078, 084, 085, 089, and 093.

ATTACHMENTS:

POTENTIAL CHANGE ORDERS IN THIS CHANGE ORDER:

PCO#	Title	Schedule Impact	Amount
050	21012 PCO 050 RFI 171 Play Area drains		\$0.00
059	21012 PCO 059 RFI 182: Bench Material		\$0.00
062	21012 PCO 062 RFI 148 New North Parking Lot		\$0.00
065	21012 PCO 065 Update Staff, Rates, and Trade Partners		\$0.00
069	21012 PCO 069 RFI 214: Playground Added Rat Slab		\$0.00
071	21012 PCO 071 Turtle Design Changes		\$0.00
074	21012 PCO 074 Back Parking Added Demo & Import		\$0.00
075	21012 PCO 075 RFI 218: Shelter PreCon RFIs		\$0.00
076	21012 PCO 076 RFI 255: Grade at 1st Floor N Parking		\$0.00
077	21012 PCO 077 272: Shelter Pad Grading		\$22,082.00
078	21012 PCO 078 Turtle Tail Submittal Review		\$1,463.00
084	21012 PCO 084 RFI 285: Owl Mound Weep Holes		\$5,563.00
085	21012 PCO 085 Remove Transfer Boulders		\$2,887.00
089	21012 PCO 089 Owl Mound Slope		\$10,998.00
093	21012 PCO 093 Refill Contingency for Amendment 12		\$212,728.00
		Total:	\$255,721.00

CHANGE ORDER LINE ITEMS:

PCO # 050: 21012 PCO 050 RFI 171 Play Area drains

#	Budget Code	Description	Amount
1	31-001SUBS Konell	Drain Rework	\$8,704.00



#	Budget Code	Description	Amount
2	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(8,704.00)
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
		Liability Insurance (1.15%):	\$0.00
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00

PCO # 059: 21012 PCO 059 RFI 182: Bench Material

#	Budget Code	Description	Amount
1	11-660SUBS Paul Bros	Bench Material	\$8,230.00
2	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(8,230.00)
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
		Liability Insurance (1.15%):	\$0.00
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00

PCO # 062: 21012 PCO 062 RFI 148 New North Parking Lot

#	Budget Code	Description	Amount
1	31-001SUBS Konell	Earthwork & Utilities	\$117,010.00
2	32-160SUBS Larusso	Site Concrete	\$7,101.00
3	32-100SUBS Eastside Paving	Asphalt	\$18,766.00
4	02-210SUBS Terra Calc	Survey	\$469.00
5	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(155,706.00)
6	01-003SUBS Logistics	Foreman time	\$12,360.00
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
		Liability Insurance (1.15%):	\$0.00
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00

PCO # 065: 21012 PCO 065 Update Staff, Rates, and Trade Partners

#	Budget Code	Description	Amount
1	01-020MAT'L Project Construction Contingency	No cost	\$0.00
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
		Liability Insurance (1.15%):	\$0.00
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00



PCO # 069: 21012 PCO 069 RFI 214: Playground Added Rat Slab

#	Budget Code	Description	Amount
1	11-660SUBS Paul Bros	Added Rat Slab	\$9,945.00
2	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(9,945.00)
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
		Liability Insurance (1.15%):	\$0.00
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00

PCO # 071: 21012 PCO 071 Turtle Design Changes

#	Budget Code	Description	Amount
1	11-660SUBS Paul Bros	Turtle Revisions	\$9,616.00
2	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(9,616.00)
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
	Liability Insurance (1.15%):		
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00

PCO # 074: 21012 PCO 074 Back Parking Added Demo & Import

#	Budget Code	Description	Amount
1	31-001SUBS Konell	Added Rock	\$3,411.00
2	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(3,411.00)
		Subtotal:	\$0.00
		Builder's Risk (≈ 0.59%):	\$0.00
	Liability Insurance (≈ 1.14%):		
Payment & Performance Bonds (≈ 0.94%):			\$0.00
		Fee (≈ 2.46%):	\$0.00
	CAT Tax (≈ 0.47%):		
		Grand Total:	\$0.00

PCO # 075: 21012 PCO 075 RFI 218: Shelter PreCon RFIs

#	Budget Code	Description	Amount
1	03-001SUBS Ward Henshaw	Rough Carpentry & Concrete	\$3,347.00
2	23-001SUBS Piper	Added Hosebib	\$512.00
3	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(3,859.00)
		Subtotal:	\$0.00
	Builder's Risk (0.60%):		
Liability Insurance (1.15%):			
	Payment & Performance Bonds (0.95%):		
	Fee (2.45%):		
	CAT Tax (0.48%):		
		Grand Total:	\$0.00



PCO # 076: 21012 PCO 076 RFI 255: Grade at 1st Floor N Parking

#	Budget Code	Description	Amount
1	31-001SUBS Konell	Earthwork	\$1,745.00
2	01-020MAT'L Project Construction Contingency	Borrowed Contingency	\$(1,745.00)
		Subtotal:	\$0.00
		Builder's Risk (0.60%):	\$0.00
	Liability Insurance (1.15%):		
		Payment & Performance Bonds (0.95%):	\$0.00
		Fee (2.45%):	\$0.00
		CAT Tax (0.48%):	\$0.00
		Grand Total:	\$0.00

PCO # 077: 21012 PCO 077 272: Shelter Pad Grading

#	Budget Code	Description		Amount
1	31-001SUBS Konell	Earthwork		\$20,887.00
			Subtotal:	\$20,887.00
			Builder's Risk (≈ 0.6%):	\$125.00
		Liabi	lity Insurance (≈ 1.15%):	\$240.00
		Payment & Perforr	mance Bonds (≈ 0.95%):	\$198.00
			Fee (≈ 2.45%):	\$526.00
			CAT Tax (≈ 0.48%):	\$106.00
			Grand Total:	\$22,082.00

PCO # 078: 21012 PCO 078 Turtle Tail Submittal Review

Amou	Description		Budget Code	#
\$1,384.0		Turtle Tail	11-660SUBS Paul Bros	1
\$1,384.0	Subtotal:	,		
\$8.0	Builder's Risk (≈ 0.58%):			
\$16.0	Liability Insurance (≈ 1.16%):			
\$13.0	Payment & Performance Bonds (≈ 0.94%):			
\$35.0	Fee (≈ 2.46%):			
\$7.0	CAT Tax (≈ 0.48%):			
\$1,463.0	Grand Total:			

PCO # 084: 21012 PCO 084 RFI 285: Owl Mound Weep Holes

#	Budget Code	Description	Amount
1	11-660SUBS Paul Bros	Add Weep Holes	\$5,262.00
		Subtotal:	\$5,262.00
		Builder's Risk (≈ 0.61%):	\$32.00
		Liability Insurance (≈ 1.16%):	\$61.00
	Payment & Performance Bonds (≈ 0.95%):		
		Fee (≈ 2.44%):	\$132.00
		CAT Tax (≈ 0.47%):	\$26.00
		Grand Total:	\$5,563.00



PCO # 085: 21012 PCO 085 Remove Transfer Boulders

#	Budget Code	Description	Amount
1	11-660SUBS Paul Bros	Revised Stones	\$2,731.00
		Subtotal:	\$2,731.00
		Builder's Risk (≈ 0.59%):	\$16.00
		Liability Insurance (≈ 1.14%):	\$31.00
		Payment & Performance Bonds (≈ 0.95%):	\$26.00
		Fee (≈ 2.46%):	\$69.00
		CAT Tax (≈ 0.49%):	\$14.00
		Grand Total:	\$2,887.00

PCO # 089: 21012 PCO 089 Owl Mound Slope

#	Budget Code	Description	Amount
1	11-660SUBS Paul Bros	Owl Mound Slope Change	\$10,403.00
		Subtotal:	\$10,403.00
		Builder's Risk (≈ 0.6%):	\$62.00
	Liability Insurance (\approx 1.15%): Payment & Performance Bonds (\approx 0.95%): Fee (\approx 2.45%): CAT Tax (\approx 0.48%): Grand Total:		

PCO # 093: 21012 PCO 093 Refill Contingency for Amendment 12

#	Budget Code	Description	Amount
1	01-020MAT'L Project Construction Contingency	PCO 59 Bench Material Change	\$8,230.00
2	01-020MAT'L Project Construction Contingency	PCO 62 N Parking Lot	\$155,706.00
3	01-020MAT'L Project Construction Contingency	PCO 69 Playground Rat Slab	\$9,945.00
4	01-020MAT'L Project Construction Contingency	PCO 71 Turtle Design Changes	\$9,616.00
5	01-020MAT'L Project Construction Contingency	PCO 74 Parking Demo & Import	\$3,411.00
6	01-020MAT'L Project Construction Contingency	PCO 75 Shelter RFIs	\$3,859.00
7	01-020MAT'L Project Construction Contingency	PCO 76 Grade at N Parking	\$1,745.00
8	01-020MAT'L Project Construction Contingency	PCO 050 Play Area Drains	\$8,704.00
		Subtotal:	\$201,216.00
		Builder's Risk (≈ 0.6%):	\$1,207.00
		Liability Insurance (≈ 1.15%):	\$2,314.00
		Payment & Performance Bonds (≈ 0.95%):	\$1,912.00
		Fee (≈ 2.45%):	\$5,063.00
		CAT Tax (≈ 0.48%):	\$1,016.00
		Grand Total:	\$212,728.00

The original (Contract Sum)	\$20,100,316.00
Net change by previously authorized Change Orders	\$2,492,398.00
The contract sum prior to this Change Order was	\$22,592,714.00
The contract sum would be changed by this Change Order in the amount of	\$255,721.00
The new contract sum including this Change Order will be	\$22,848,435.00
The contract time will not be changed by this Change Order.	





Sina Meier (Opsis Architecture)

920 NW 17th Avenue Portland, Oregon 97209 Clackamas County

150 Beavercreek Road Oregon City, Oregon 97045 **P&C Construction**

2133 NW York Street Portland, Oregon 97210

-Signed by:

SIGNATURE

Sina Meier

April 23, 2025 **DATE**

-signed by: Jason Varga

April 23, 2025

DATE SIGNATURE DATE



P&C Construction 2133 NW York St Portland, Oregon 97210-2108 Phone: 503.665.0165 **Project:** 23005 - Concord CC Upgrades 3811 SE Concord Road Milwaukie, Oregon 97267

Prime Contract Potential Change Order #039: 23005 PCO029 Tenant Improvement Added Work

	<u> </u>		
то:	Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045	FROM:	P&C Construction 2133 NW York Street Portland, Oregon 97210
PCO NUMBER/REVISION:	039 / 0	CONTRACT:	23005 Concord CC Upgrades
REQUEST RECEIVED FROM:		CREATED BY:	Hunter Karnopp (P&C Construction)
STATUS:	Pending - In Review	CREATED DATE:	4/23/2025
REFERENCE:		PRIME CONTRACT CHANGE ORDER:	None
FIELD CHANGE:	No		
LOCATION:		ACCOUNTING METHOD:	Amount Based
SCHEDULE IMPACT:		PAID IN FULL:	No
EXECUTED:	No	SIGNED CHANGE ORDER RECEIVED DATE:	
		TOTAL AMOUNT:	\$776,695.00

POTENTIAL CHANGE ORDER TITLE: 23005 PCO029 Tenant Improvement Added Work

CHANGE REASON: Added Scope

POTENTIAL CHANGE ORDER DESCRIPTION: (The Contract Is Changed As Follows)

Added scope for the tenant improvement work including but not limit to, divisions 01, 02, 05, 06, 07, 08, 09, 10, 21, 22, 23, and 26 throughout the interior of the building.

ATTACHMENTS:

Concord CC - TI Change Order.pdf

#	Budget Code	Description	Amount
1	01-002MAT'L General Conditions.MATERIAL	TI Work	\$118,680.00
2	02-410SUBS IRS Environmental	TI Work	\$45,460.00
3	05-120SUBS Solid Form	TI Work	\$16,540.00
4	03-000SUBS Ward-Henshaw	TI Work	\$47,900.00
5	06-290SUBS Finish Carpentry	TI Work	\$36,450.00
6	09-250SUBS Cascade Acoustics	TI Work	\$33,489.00
7	08-410SUBS Mountain View	TI Work	\$15,105.00
8	09-900SUBS Rich Holland	TI Work	\$54,160.00
9	09-680SUBS NW Flooring	TI Work	\$76,484.00
10	10-140SUBS Signage	TI Work (includes all div 10 scopes)	\$15,275.00
11	21-130SUBS Swift Fire	TI Work	\$8,650.00
12	23-300SUBS Piper Mechanical	TI Work (plumbing and HVAC)	\$22,630.00
13	26-050SUBS PECi	TI Work	\$158,430.00
14	01-020MAT'L Project Contingency	TI Work	\$34,984.00
15	08-100SUBS Gibson Door	TI Work - Install	\$9,706.00



#	Budget Code	Description	Amount
16	01-002MAT'L General Conditions.MATERIAL	TI Work - Bell Hardware Refill	\$40,721.00
		Subtotal:	\$734,664.00
		Builder's Risk (≈ 0.6%):	\$4,408.00
		Liability Insurance (≈ 1.15%):	\$8,449.00
		Payment & Performance Bond (≈ 0.95%):	\$6,979.00
		Fee (≈ 2.45%):	\$18,485.00
		CAT Tax (≈ 0.48%):	\$3,710.00
		Grand Total:	\$776,695.00

Caroline Hather (Opsis Architecture)

920 NW 17th Avenue Portland, Oregon 97209 Clackamas County 150 Beavercreek Road Oregon City, Oregon 97045 **P&C Construction** 2133 NW York Street Portland, Oregon 97210

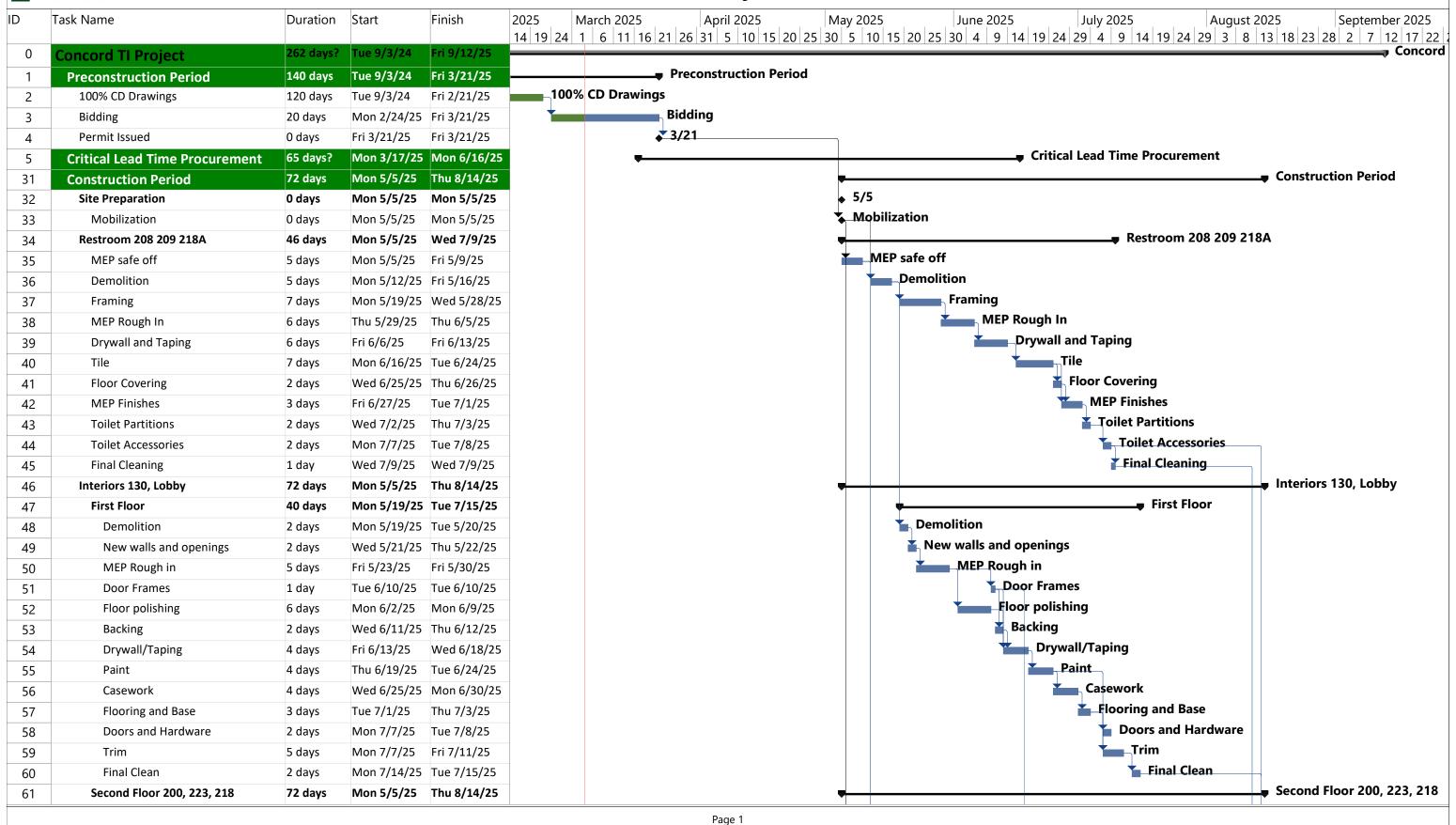
SIGNATURE DATE SIGNATURE DATE DATE

Concord Community Center Upgrades - TI Pricing

DIV	Scope		Total Cost
01	General Requirements & Final Clean	\$	118,680
02	Abatement & Demolition	\$	45,460
05	Metals	\$	16,540
06	Carpentry	\$	47,900
06	Casework & Countertops	\$	36,450
07	Thermal & Moisture Protection	\$	33,489
08	Doors & Windows	\$ \$	50,427
08	Glazing	\$	15,105
09	Paint	\$	54,160
09	Flooring	\$	76,484
10	Specialties	\$	15,275
21	Fire Suppression	\$	8,650
22	Plumbing	\$	20,110
23	HVAC	\$	2,520
26	Electrical	\$	158,430
	Subtotal	\$	699,680
	Contingency 5%	\$	34,984
	Subtotal	\$	734,664
	Insurance 1.15%	\$	8,449
	P & P Bond 0.95%	\$ \$	6,979
	Builder's Risk 0.60%	\$	4,408
	Subtotal - COW	\$	754,500
	Fee 2.45%	\$	18,485
	Subtotal - COW	\$	772,985
	CAT 0.48%	\$	3,710
	Total	\$	776,696

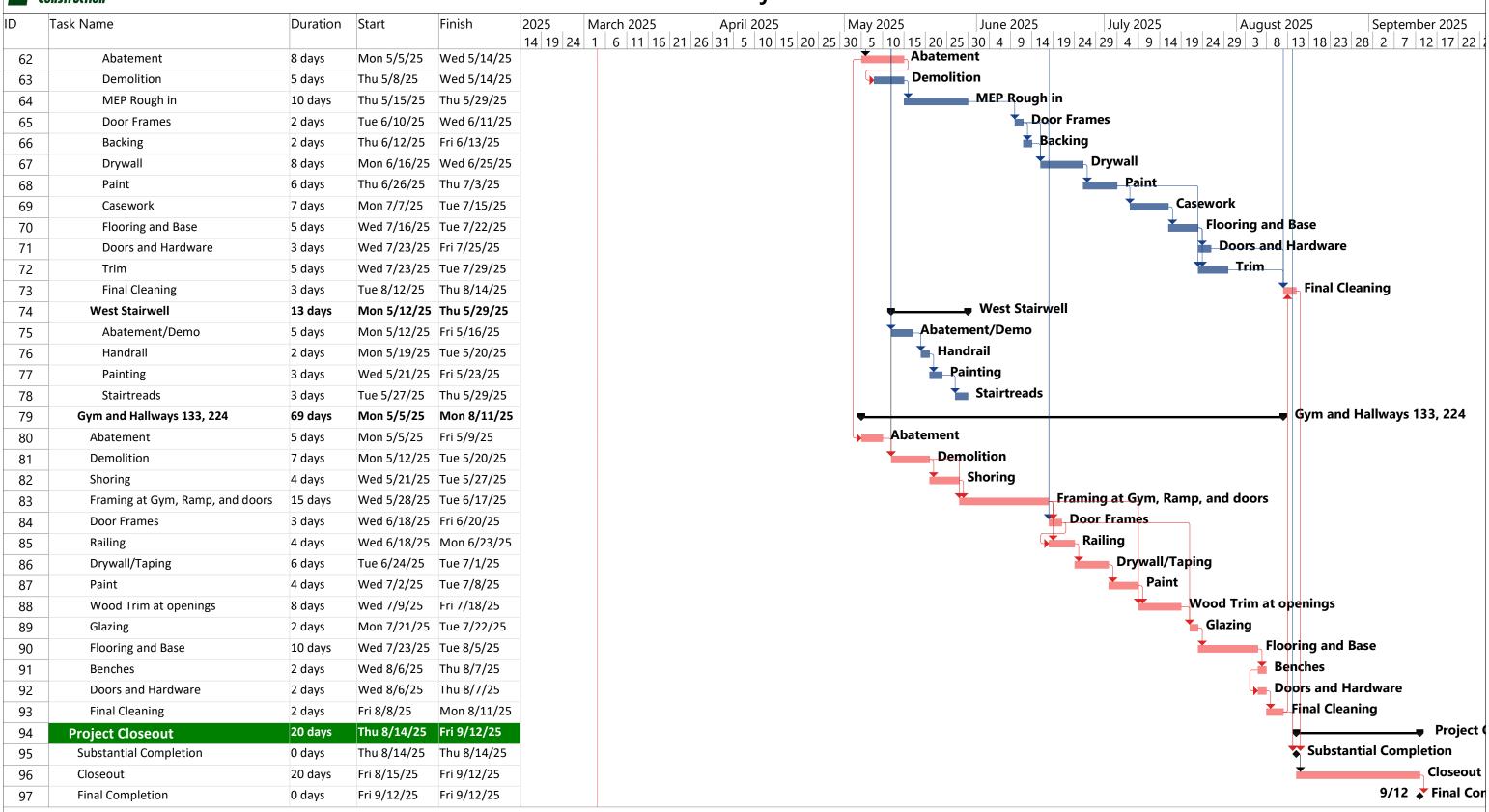


Concord Community Center TI Project





Concord Community Center TI Project



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SHEET#	SHEET NAME	REVISION
GENERAL G0.00	SHEET INDEX	PR 02
CIVIL C0.03	FIRE ACCESS - FOR REFERENCE ONLY	-
DEMO AD1.01 AD1.01b	LOWER LEVEL DEMO PLAN LOWER LEVEL DEMO PLAN (T.I)	ADD-1 PR 02
AD1.02 AD1.03 AD1.04	LOWER LEVEL ENLARGED DEMO PLAN LOWER LEVEL ENLARGED DEMO PLAN_ADD ALT. UPPER LEVEL DEMO PLAN	ADD-1
AD1.04b AD1.05 AD1.06 AD1.07	UPPER LEVEL DEMO PLAN T.I. UPPER LEVEL ENLARGED DEMO PLAN UPPER LEVEL ENLARGED DEMO PLAN_ADD ALT. LOWER LEVEL RCP DEMO	ADD-1
AD1.08 AD1.12 AD2.10	UPPER LEVEL RCP DEMO ROOF PLAN DEMO EXTERIOR ELEVATIONS DEMO	DS #1
AD2.10 AD2.11 AD2.12 AD4.50	EXTERIOR ELEVATIONS DEMO LOWER LEVEL DEMO ELEVATIONS - FOR REFERENCE ROOF DETAILS - DEMO	DS #1 DS #1 DS #1
ARCHITECT		. 53#1
A0.00 A0.10 A0.20	ARCHITECTURAL ABBREVIATIONS AND SYMBOLS STANDARD MOUNTING HEIGHTS CODE ANALYSIS	PR 02 PR 02 PR 02
A0.31 A0.32 A0.40	FIRE & LIFE SAFETY PLAN- LOWER LEVEL FIRE & LIFE SAFETY PLAN- UPPER LEVEL HORIZONTAL & VERTICAL ASSEMBLY TYPES	PR 02 PR 02 PR 02
A0.80 A0.81 A1.11	ARCHITECTURAL SITE PLAN ENLARGED PLAN - TRASH ENCLOSURE LOWER LEVEL FLOOR PLAN	PR 02 ADD-1 PR 02
A1,11b A1,12 A1,12b	LOWER LEVEL FLOOR PLAN (T.I) UPPER LEVEL FLOOR PLAN (T.I) UPPER LEVEL FLOOR PLAN (T.I)	PR 02 PR 02 PR 02
A1.13 A1.14 A1.14b	ENLARGED FLOOR PLANS ENLARGED FLOOR PLAN-ADD ALTERNATES ENLARGED FLOOR PLANS (T.I.)	PR 02 PR 02 PR 02
A1.14c A1.15 A1.15b	ENLARGED FLOOR PLANS (T.I.) LOWER LEVEL FINISH PLAN - T.I.	PR 02 ADD-1 PR 02
A1.16 A1.17 A1.17b	LOWER LEVEL FINISH PLAN - ADD ALTERNATES UPPER LEVEL FINISH PLAN - T.I.	PR 02
A1.18 A1.20 A1.21	UPPER LEVEL FINISH PLAN- ADD ALTERNATES NEW ROOF PLAN MECHANICAL ATTIC PLAN	ADD-1 DS #1 ADD-1
A1.22 A1.23 A1.24	UPPER LEVEL RCP UPPER LEVEL RCP - ADD ALTERNATES ENLARGED LOWER LEVEL ROP	PR 02 PR 02 ADD-1
A1.25 A1.26 A1.40	ENLARGED LOWER LEVEL RCP ENLARGED LOWER LEVEL RCP - ADD ALTERNATES FURNITURE PLANS	ADD-1 PR 02
A1.41 A2.10 A2.11 A2.12	FURNITURE PLANS EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS ENLARGED EXTERIOR ELEVATIONS	PR 02
A2.20 A3.10 A3.20	EXTERIOR 3D VIEWS BUILDING SECTIONS WALL SECTIONS	- ADD-1
A4.01 A4.10 A4.11	DOOR SCHEDULE, DOOR & FRAMED OPENING TYPES EXTERIOR DETAILS EXTERIOR DETAILS	PR 02 ADD-1
A4.11b A4.12 A4.51	EXTERIOR DETAILS INTERIOR OPENING DETAILS ROOF DETAILS	PR 02
A4.52 A4.53 A5.10	ROOF DETAILS ROOF DETAILS ENLARGED RESTROOMS DRAWINGS	DS #1 DS #1 PR 02
A5.20 A5.30 A6.30	ENLARGED ELEVATOR DRAWINGS ENLARGED STAIR DRAWINGS INTERIOR ELEVATIONS	ADD-1 PR 02 PR 02
A6.31 A6.32 A6.33	INTERIOR ELEVATIONS (T.I.) INTERIOR ELEVATIONS (T.I.) INTERIOR ELEVATIONS (T.I.) ALT-4	PR 02 PR 02
A6,50 A6,60 A6,70	INTERIOR 3D VIEWS STANDARD CASEWORK INTERIOR DETAILS - CEILING & FINISH	PR 02
A6.71 EC1.11 EC1.12	INTERIOR DETAILS - CEILING & FINISH LOWER LEVEL FLOOR PLAN EXISTING UPPER LEVEL FLOOR PLAN EXISTING	PR 02

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S0.01	GENERAL STRUCTURAL NOTES	,		
S0.02	SYMBOLS & ABBREVIATIONS	> }		
S0.04	SPECIAL INSPECTION REQUIREMENTS	> }		
S1.11	FOUNDATION PLAN	<i>></i>		
S1.11A	FOUNDATION PLAN - ADD ALT SCOPE	`		
S1.12	UPPER LEVEL FRAMING PLAN			
S1.12A	UPPER LEVEL FRAMING PLAN - ADD ALT SCOPE	`	PR	02
S1.13	ATTIC FRAMING PLAN			
S1.13A	ATTIC FRAMING PLAN - ADD ALT SCOPE	`	PR	02
S1.14	ROOF FRAMING PLAN	`		
S5.01	CONCRETE DETAILS	}		
S5.02	CONCRETE DETAILS	`		
S6.01	STEEL DETAILS	`		
S6.02	PROPOSED ENTRY STEEL INSTALLATION	`		
S7.01	WOOD DETAILS	`		
\$7.02	WOOD DETAILS			
S7.03	WOOD DETAILS	,	PR	02
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M0.20	SCHEDULES - MECHANICAL	>		
M0.30	SCHEDULES - MECHANICAL	>	PR	02
MD2.11	LOWER LEVEL FLOOR DEMOLITION PLAN - MECHAN	· · · · · · · · · · · · · · · · · · ·		
MD2.12	UPPER LEVEL FLOOR DEMOLITION PLAN - MECHANIQ	AL		
MD2.13	ATTIC LEVEL FLOOR DEMOLITION PLAN - MECHANIC	AL		
MD2.14	ROOF DEMOLITION PLAN - MECHANICAL	>		
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M2.12	UPPER LEVEL FLOOR PLAN - MECHANICAL	,	PR	02
M2.13	ATTIC LEVEL FLOOR PLAN - MECHANICAL	<u>,</u>	PR	02
M2.14	ROOF PLAN - MECHANICAL	<u> </u>		
M6.10	DETAILS - MECHANICAL	<u> </u>		
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PLUMBING		> }		
P0.10	SYMBOL LIST AND GENERAL NOTES - PLUMBING		PR	
P0.20	PLUMBING SCHEDULES		PR	02
PD2.11	LOWER LEVEL FLOOR DEMOLITION PLAN - PLUMBING	5		
PD2.12	UPPER LEVEL FLOOR DEMOLITION PLAN - PLUMBING	<u> </u>		00
P2.11	LOWER LEVEL FLOOR PLAN - PLUMBING	`	PR	
P2.12	UPPER LEVEL FLOOR PLAN - PLUMBING		PR	
P2.13	ROOF PLAN - PLUMBING	`	PR	
P5.10	DETAILS - PLUMBING	`	PR	02
EI EATDIA		`		
ELECTRICA E0 10		}		
E0.10 E0.20	SYMBOL LIST AND GENERAL NOTES - ELECTRICAL LUMINAIRE SCHEDULES	`		
	SITE PLAN DEMOLITION - ELECTRICAL	`		
ED1.10 ED2.10	LOWER LEVEL FLOOR DEMOLITION PLAN - ELECTRIC	<u>}</u> 2Λ1	PR	በኃ
ED2.10 ED2.11	UPPER LEVEL FLOOR DEMOLITION PLAN - ELECTRIC	>	PR	
ED2.11	ROOF PLAN DEMOLITION - POWER	AL	PK	UZ
ED3.13	SITE PLAN - ELECTRICAL	<u> </u>	PR	റാ
E1.10 E2.11	LOWER LEVEL FLOOR PLAN - LIGHTING	<u> </u>	PR	
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E2.12 E2.13	ATTIC LEVEL FLOOR PLAN - LIGHTING	>	FK	UZ
E3.11	LOWER LEVEL FLOOR PLAN - POWER	>	PR	റാ
E3.11	UPPER LEVEL FLOOR PLAN - POWER	>	PR	
E3.12 E3.13	ATTIC LEVEL FLOOR PLAN - POWER	>	FK	UZ
E3.13 E3.14	ROOF PLAN - POWER	> }		
E3.14 E5.10	SINGLE LINE DIAGRAMS - ELECTRICAL	≻ }	PR	0 2
E5.10 E6.10	SCHEDULES ELECTRICAL	> }	PR PR	
E6.10 E6.11	SCHEDULES ELECTRICAL SCHEDULES ELECTRICAL	> }	PR PR	
E6.11 E7.10	DETAILS - ELECTRICAL	> (PR PR	
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TECHNOLO T0.1 T2.11	SYMBOL LIST AND GENERAL NOTES - TECHNOLOGY LOWER LEVEL FLOOR PLAN - TECHNOLOGY		PR PR	
T0.1				02

CONSTRUCTION DOCUMENTS PRICING ALTERNATES

ADD ALTERNATE NO. 1
ADDITION OF A 2 STOP ELEVATOR PER SHEET A1.14, INCLUDING ASSOCIATED STRUCTURAL

BASE BID: NO ADDITION OF A 2 STOP ELEVATOR

ADD ALTERNATE NO. 2
REMOVE VISIBLE STEAM AND CONDENSATE RETURN PIPES WITHIN

ALL EXISTING ROOMS EXCEPT FOR BACK OF HOUSE ROOMS. CAP AT WALL, FLOOR, AND/OR CEILING. PATCH AND REPAIR FINISHES AS

REQUIRED, REFERENCE ASBESTOS REPORT FOR FULL SCOPE. BOILER ROOM INFRASTRUCTURE IS NOT INCLUDED. (ASBESTOS REMEDIATION AS REQUIRED)

BASE BID: DEMO OF SELECT (E) PIPING AS INDICATED IN DRAWINGS NEAR THE NEW ENTRY/LOBBY.

ADD ALTERNATE NO. 3
REMOVE EXISTING BOILER AND ASSOCIATED STEAM PIPING WITHIN EXISTING MECHANICAL ROOM.

BASE BID: BOILER AND ASSOCIATED STEAM PIPING TO REMAIN IN PLACE

ADD ALTERNATE NO. 4
REMOVE WALL BETWEEN ROOMS 101 AND 102. ADD DOOR, REPLACE CASEWORK AND FINISHES.

CLOSE UP OPENING. SEE MEP SHEETS FOR ADDITIONAL SCOPE.

BASE BID: NO WORK TO ROOMS 101 AND 102

ALL SCOPE TO MULTIPURPOSE ROOM 202 INCLUDING, CASEWORK DEMOLITION AND REPLACEMENT, NEW FINISHES, ELECTRICAL WORK, NEW SINK

BASE BID: NO WORK TO ROOM 202

ADD ALTERNATE NO. 6
ALL SCOPE TO BREAKROOM 222 INCLUDING, CASEWORK DEMOLITION AND REPLACEMENT, NEW FINISHES, ELECTRICAL WORK, NEW SINK.

miz priz

BASE BID: NO WORK TO ROOM 222



| VICINITY MAP

G0.00 1 1/2" = 1'-0"

Clackamas County 150 Beavercreek Rd. Oregon City, Oregon 97405 (503) 867-2820 Contact: Jason Varga

ARCHITECT Opsis Architecture 920 NW 17th Ave. Portland, Oregon 97209 (503) 525-9511 Contact: Nada Maani

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Project Owner: NORTH CLACKAMAS PARKS AND RECREATION 💉 CLACKAMAS COUNTY

Project Name: CONCORD COMMUNITY

Project Adress: 3811 SE Concord Road, Milwaukie, OR 97267

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PERMIT SET

9.14.2023

SHEET INDEX

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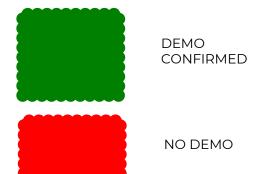
DEMOLITION SHEET NOTES

1. REFER TO ENLARGED FLOOR PLANS FOR MORE INFORMATION
2. ALL DIMENSIONS TO BE V.I.F.
3. REFER TO MEP DEMO SHEETS FOR ADDITIONAL INFORMATION

DEMOLITION LEGEND

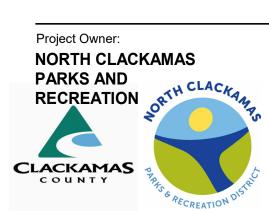
EXISTING WALL TO REMAIN

EXISTING TO BE DEMOLISHED



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Revisions to Sheet

ADD-1

PR 02

02/17/2025

Status: PERMIT SET

Date: 9.14.2023

Sheet Title

LOWER LEVEL

DEMO PLAN (T.I)

AD1.01b

mmm

REMOVE ABANDONED SINK
 CONNECTIONS. SEE PLUMBING
 UPPER AND LOWER LEVEL CABINETS

DEMO DOOR AND -FRAME

REMOVE SHELVES

opsis

DEMOLITION SHEET NOTES

1. REFER TO ENLARGED FLOOR PLANS FOR MORE INFORMATION
2. ALL DIMENSIONS TO BE VI.F.
3. REFER TO MEP DEMO SHEETS FOR ADDITIONAL INFORMATION

DEMOLITION LEGEND

EXISTING WALL TO REMAIN

EXISTING TO BE DEMOLISHED



NO DEMO

JAMES OF OREGON

OF OREGON

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NORTH CLACKAMAS

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Revisions to Sheet

Status: PERMIT SET

Date: 9.14.2023

Sheet Title
UPPER LEVEL
DEMO PLAN T.I.

AD1.04b

4775**-0**8

1 UPPER LEVEL - DEMO TI
AD1.04b 1/8" = 1'-0"

MATE KEY	RIAL KEY NAME	SECTION	
KEY	JOINT SEALANTS	07 92 00	
AED-1	AUTOMATED EXTERNAL DEFIBRILLATOR CABINET	10 44 00	
AP-1 AP-2	GWB ACCESS PANEL W/ GWB FLANGE GWB CEILING PERSON ACCESS PANEL	08 31 13 08 31 13	-
AS-1 BCS-1	ASPHALT SHINGLES BABY CHANGING STATION	07 31 13 10 28 00	-
BF-1 BGW-1	OWNER TO ADVISE BUTTON OR SENSOR BELOW-GRADE MEMBRANE	22 40 00 07 14 16	-
BR-1	FREE STANDING BIKE RACK	12 93 13	-
C-1 C-2A	TO MATCH EXISTING SUSPENDED ACOUSTICAL TILE TO MATCH EXISTING SURFACE MOUNTED ACOUSTICAL TILE	09 51 13 09 51 23	-
C-2B C-2C	TO MATCH EXISTING SURFACE MOUNTED ACOUSTICAL TILE TO MATCH EXISTING SURFACE MOUNTED ACOUSTICAL TILE	09 51 23 09 51 23	-
C-2D C-6	TO MATCH EXISTING SURFACE MOUNTED ACOUSTICAL TILE NEW SUSPENDED ACOUSTIC CEILING TILE	09 51 23 09 51 13	-
CB-1	HD BOARD 1/2"	07 54 23	-
CG-1 CGG-1	CORNER GUARD, PAINTABLE 1/4" CLEAR GLASS	10 26 00 08 80 00	-
CH-1 CONC-1	COAT HOOK SEALED CONCRETE FLOOR	10 28 00 03 30 00	-
CONC-2	CAST-IN-PLACE CONCRETE	03 30 00	-
CONC-3 CPT-1	POLISHED CONCRETE CARPET TILE	03 30 00 09 68 00	-
CTG-1 CTG-2	1/4" CLEAR TEMPERED GLASS 1/2" CLEAR TEMPERED GLASS	08 80 00 08 80 00	-
DF-1 DRM-1	WITH BOTTLE FILLER DRYWALL REVEAL	22 40 00 09 29 00	-
DRM-2	DRYWALL REVEAL	09 29 00	-
DWP-1 EHD-1	DECORATIVE WALL PROTECTION ELECTRIC HAND DRYER	09 72 00 10 28 00	-
EKC-1 ET-1	EMERGENCY KEY CABINET METAL TRIM	10 41 16 09 72 00	-
ET-2	METAL TRIM	09 72 00	-
ET-3 FEC-1	METAL TRIM FIRE EXTINGUISHER CABINET	09 72 00 10 44 00	-
FEC-2 FF-SAM	FIRE EXTINGUISHER CABINET FOIL-FACED SELF-ADHERED MEMBRANE FLASHING	10 44 00 07 25 00	-
FL-1 FRL-1	DRAINABLE BLADE LOUVER HIGH PRESSURE PLASTIC LAMINATE FOR WALL PANELS	08 91 19 06 20 23	-
FRL-2	HIGH PRESSURE PLASTIC LAMINATE FOR WALL PANELS	06 20 23	-
FRP-1 GB-1	FIBER REINFORCED PANEL GRAB BAR 18"	09 72 12 10 28 00	-
GB-2 GB-3	GRAB BAR 36" GRAB BAR 42"	10 28 00 10 28 00	-
GC-1	GLAZING CHANNEL	08 80 00	-
GC-2 GR-1	GLAZING CHANNEL GRATING	08 80 00 05 50 00	-
GWB-1 GWB-2	GYPSUM WALL BOARD WATER RESISTANT GYPSUM BACKING BOARD	09 29 00 09 29 00	-
GWB-3 GWB-4	EXTERIOR GYPSUM SOFFITS SHAFT WALL LINER BOARD	09 29 00 09 21 16	-
GWB-5	IMPACT RESISTANT GYPSUM WALL BOARD	09 29 00	-
HM-1 HR-1	HOLLOW METAL DOOR AND FRAME STEEL PLATE HANDRAIL	08 11 13 05 52 13	-
HR-2 INSUL-1	STEEL HANDRAIL: ROUND BATT INSULATION	05 52 13 07 21 00	-
INSUL-2	RIGID INSULATION RIGID INSULATION	07 21 00	-
INSUL-3 INSUL-4	SPRAY POLYURETHANE FOAM INSULATION	07 21 00 07 21 00	-
INSUL-5 LF-1	BLOWN IN CELLULOSE INSULATION LIQUID APPLIED FLASHING	07 21 00 07 25 00	-
LN-1 MF-1	LINOLEUM MODULAR FLOORING METAL FLASHING	09 65 00 07 62 00	-
MF-2	METAL FLASHING	07 62 00	-
MF-3 MF-4	METAL FLASHING METAL FLASHING	07 62 00 07 62 00	-
MF-5 MF-6	METAL FLASHING METAL FLASHING	07 62 00 07 62 00	-
MR-1	MIRROR MIRROR	10 28 00	-
MR-2 NR-1	SANITARY NAPKIN RECEPTACLE	08 80 00 10 28 00	-
P-1 P-2	PAINT PAINT	09 91 00 09 91 00	-
P-3 P-4	PAINT PAINT	09 91 00 09 91 00	-
P-5	PAINT	09 91 00	-
P-6 P-8	PAINT PAINT	09 91 00 09 96 00	-
P-9 P-10	PAINT PAINT	09 96 00 09 91 00	-
PLAM-1	PLASTIC LAMINATE	06 41 00	-
PTD-1 RA-1	PAPER TOWEL DISPENSER ROOF ANCHOR POST AND LIFELINE	10 28 00 07 72 00	-
RAF-1 RB-1	RESILIENT ATHLETIC FLOORING RUBBER BASE	09 65 00 09 65 13	-
RB-2	RUBBER BASE	09 65 13	-
RF-1 RF-2	RESILIENT FLOORING RESILIENT FLOORING	09 65 00 09 65 00	-
RF-3 RF-4	RESILIENT FLOORING RESILIENT FLOORING	09 65 00 09 65 00	-
RH-1 RV-1	ROOF HATCH ROOF VENT - INTAKE	07 72 00 07 31 13	-
RV-2	GRAVITY ROOF VENTILATOR - EXHAUST	07 54 23	-
RV-3 RV-4	GRAVITY ROOF VENTILATOR - EXHAUST GRAVITY ROOF VENTILATOR - EXHAUST	07 54 23 07 54 23	-
SAM-1 SAM-2	SELF-ADHERED MEMBRANE SELF-ADHERED MEMBRANE (STAINLESS STEEL)	07 25 00 07 25 00	-
SAM-3	SELF-ADHERED MEMBRANE (VAPOR IMPERMEABLE)	07 25 00	-
SAM-4 SD-1	FOIL-FACED BUTYL SA MEMBRANE SOAP DISPENSER	07 25 00 10 28 00	-
SF-1 SG-1	ALUMINUM STOREFRONT - EXTERIOR SIGNAGE	08 41 13 10 14 19	-
SL-1 SP-1	SHIPS LADDER STEEL PLATE	05 50 00 05 50 00	-
SURF-1	SOLID SURFACE	06 41 00	-
SURF-3	SOLID SURFACE SOLID SURFACE	06 41 00 06 41 00	-
SURF-4 T-1	SOLID SURFACE TILE - FLOOR	06 41 00 09 30 00	-
T-2	TILE - WALL	09 30 00	-
T-3 T-4	TILE - FLOOR TILE - WALL	09 30 00 09 30 00	-
TP-1 TPD-1	PARTITION SYSTEM TOILET PAPER DISPENSER	10 21 13 10 28 00	-
TPO-1 UL-1	TPO UNDERLAYMENT	07 54 23 07 31 13	-
UL-2	ICE AND WATER BARRIER	07 31 13	-
VB-1 VB-2	VAPOR BARRIER VAPOR BARRIER	07 21 00 03 30 00	-
WD-1 WD-2	WOOD TRIM WOOD PANELING	06 20 23 06 20 23	-
WD-3	WOOD TRIM	06 20 23	-
WD-4 WD-5	WOOD HANDRAIL WOOD PANELING - TAMBOUR	06 20 23 06 20 23	-
WDB-1 WM-1	PAINT GRADE WOOD BASE FLUID-APPLIED WATERPROOFING MEMBRANE	06 20 23 07 14 13	-

MATERIAL SYMBOLS COMPACTED FILL GRAVEL, ROCK CONCRETE 4, 4, 4 MASONRY CONSTRUCTION (ELEVATION) GYPSUM WALLBOARD FINISH GRADE WOOD PLYWOOD PARTICLE BOARD CERAMIC TILE ALUMINUM STEEL RIGID INSULATION BATT INSULATION CERAMIC TILE (ELEVATION) CONTINUOUS WOOD BLOCKING INTERMITTENT WOOD BLOCKING METAL STUD IN SECTION

PR 02

INTERIOR PARTITION DIMENSIONING LEGEND ON PLANS, INDICATES DIMENSION FROM F.O. FINISH WALL TO F.O. FINISH WALL 1. IN MANY OF THE INTERIOR SPACES THE ACTUAL DIMENSIONS MAY BE LESS IMPORTANT THAN IF THE TWO ELEMENTS IN THE BUILDING WERE TO BE EQUAL. IN THESE CASES, THE WORD "EQUAL" OR ABBREVIATION "EQ" IS USED IN LIEU OF THE ACTUAL DIMENSIONS. WHEN A ROOM CENTERLINE IS INDICATED ONLY ONE SIDE OF THE ROOMS ELEMENTS MAY BE DIMENSIONED. COLUMN IDENTIFICATION: DETAILS WILL GOVERN ALL DIMENSIONS NOT SHOWN ON SMALL SCALE PLANS. PARTITION CENTERED ON COLUMN OR GRID LINES WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY. ALIGN FRAMING CENTERLINE WITH GRID COLUMN CENTERLINE PARTITION WITH A FINISHED FACE FLUSH WITH FINISH FACE OF COLUMN WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY. COLUMN CENTERLINE PARTITION PARTITION FINISH FACE ON COLUMN OR GRID LINE WILL NOT BE DIMENSIONED ON SMALL SCALE PLANS BUT WILL BE DRAWN ACCORDINGLY. - COLUMN CENTERLINE PARTITION 7. OPENINGS OCCURING IN WALLS OR PARTITIONS: WHEN A JAMB OCCURS AT A COLUMN OR GRID LINE, DIMENSIONS WILL NOT BE SHOWN ON THE SMALL SCALE PLANS. THE OPENING WIDTH WILL BE GOVERNED BY THE DOOR SCHEDULE. WHEN A JAMB OCCURS AT NEITHER A COLUMN LINE NOR A GRID LINE AND DOES NOT FOLLOW TYPICAL OFF SETS, THEN THE JAMB WILL BE DIMENSIONED. 8. DOOR LOCATION DOORS ARE LOCATED BY ONE OF THE FOLLOWING: ONE JAMB FACE LOCATED BY A PARTITION AT RIGHT ANGLE. TYPICAL UNLESS INDICATED IN PLAN AS DIMENSIONED: TO CENTERLINE OF OPENING UON PARTITION - DOOR 0' - 4" UON WALLS & PARTITIONS ARE DIMENSIONED TO FACE OF FINISH UNLESS OTHERWISE NOTED. 10. DIMENSIONS ARE INDICATED IN THE DOCUMENTS. THE

BUILDING SECTION / EXTERIOR ELEVATION 1 SIM DRAWING NUMBER \A101 / → SHEET NUMBER **WALL SECTION** ON PLANS, INDICATES DIMENSION FROM CL OF WALL TO CL OF WALL 1 SECTION NUMBER A101 / SHEET NUMBER **DETAIL ENLARGEMENT** 1 DETAIL NUMBER A101 — SHEET NUMBER **INTERIOR ELEVATION** 1 ELEVATION NUMBER SHEET NUMBER **GRID SYMBOLS** ─ − − NEW GRID SYMBOL — — EXISTING GRID SYMBOL **NORTH ARROW SCALE ROOM INDICATOR** Room ROOM NAME 101 ROOM NUMBER DOOR INDICATOR DOOR NUMBER INDICATOR **CEILING TAG** C1 — CEILING ASSEMBLY TYPE 1'-0" CEILING HEIGHT **KEY NOTE** ----- CPT-1 **KEY NOTE OPENING TYPE TAG** EXTERIOR FRAME TYPE INTERIOR FRAME TYPE **ASSEMBLY TYPE TAG** WALL TYPE **ROOF TYPE** FLOOR TYPE **REVISIONS** REVISION CLOUD ASI 01 REVISION LABEL **FURNITURE TAG** D-3 FURNITURE TYPE DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS. FLOOR TYPE CHANGE SPOT ELEVATION 0'-0" ELEVATION LABEL

FLOOR DRAIN

FIRE EXTINGUISHER CABINET

FLOOR DRAIN

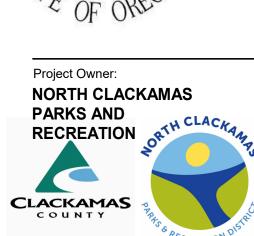
FEC FIRE EXTINGUISHER

CABINET

SYMBOLS LEGEND

STANDARD ABBREVIATIONS anchor bolt machine above acoustic ceiling tile masonry architectural concrete material asphaltic concrete marker board area drain medium density fiberboard addendum adjustable medium density overlay access floor mechanical above finish floor membrane acoustical fiberglass panel manufacturer above finish grade manhole AGG minimum mirror air handling unit miscellaneous ALUM aluminum masonry opening amount moisture resistant gypsum board APPROX MTD approximate mounted ARCH AUTO architect(ural) automatic bottom of curb not applicable baby changing station not in contract board number below finish floor nominal building non-shrink BLK not to scale BLKG blocking beam or bench mark outside air on center bottom of deck outside diameter/dimension BOR bottom of reveal OFCI owner furnished bottom contractor installed owner furnished owner installed Open to Structure basement OPNG opening OPP opposite OPP HD catch basin opposite hand CEM cement optional center point original OVHD corner guard overhead cast in place control joint center line precast concrete CLG pounds per cubic foot ceiling CLR portland cement plaster concrete masonry unit perforated COL property line CONC concrete CONT continuous plastic laminate CORR corridor PLAS plaster COV PL PLUMB plumbing cover plate CPT pounds per linear foot carpet ceramic tile plywood CTOP CTR countertop center preliminary double pounds per square inch detail pressure treated drinking fountain painted diameter diffuser quarry tile dimension quarter download thermal resistance (R-value) return air radius downspout double tee rubber base roof drain recessed reference existing refrigerator Electronic Access Controls reinforce(d)(ment)(ing) REQD expansion bolt required expansion joint revision ELEC electrical resilient flooring **ELEV** elevation reflected **EMER** emergency **ENCL** enclosure round ENGR engineer rough opening requirement(s) epoxy paint enamel rainscreen equal roof vent **EQUIP** equipment right of way EXH exhaust resilient wood floor EXP expansion rain water leader exposed exterior south solid core SCHED schedule SECT flat bar section square foot(feet) floor drain foundation sheathing fire extinguisher sheet fire extinguisher cabinet similar finish floor seismic joint sealer FLR slab on grade FLUOR specification fluorescent face of square FOF face of finish stainless steel face of concrete street STN stain(ed) face of masonry STAG face of studs staggered STD fireproofing standard STL steel fire resitive STOR storage fiber reinforced laminate fiberglass reinforced panel STRUCT structural SURF surface feet or foot SUSP suspended see wall sections field verify symmetrical SYS system GALV galvanized general contractor THR thread GLB TB tackboard glulam beam temporary grade GND GWB tempered glass ground T&B gypsum wall board top and bottom tongue and groove THK hose bib thick HDR HDW header THRSH threshold hardware THRU through HDWD hardwood top of house keeping pad top of concrete or curb hollow metal TOS top of steel HNDRL TOT handrail total HORIZ TRV horizontal thermal resistance value TYP typical HSTL hollow steel UNFIN height HTG unless otherwise noted heating HTR HVAC heating, ventilating & air conditioning valve vapor barrier VENT ventilation VERT vertical INCL VEST include(d) vestibule INFO INSUL information verify in field insulation veneer VTR interior vent to roof Vent Pipe junction box with wood WDW window walk off carpet laminate lavatory pound or lag bolt linear foot or feet wire glass

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Project Adress:

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DS #1 05/14/2024 PR 02 02/17/2025

PERMIT SET 9.14.2023

Sheet Title ARCHITECTURAL ABBREVIATIONS AND SYMBOLS

without

wainscot weight water

wall to wall

YD

waterproofing

A0.00

CHAPTER 1: ADMINISTRATION PROJECT ADDRESS: CONCORD COMMUNITY CENTER 3811 SE CONCORD RD MILWAUKIE, OR 97267 JURISDICTIONAL AUTHORITY: CLACKAMAS COUNTY APPLICABLE CODE: 2022 OREGON STRUCTURAL SPECIALTY CODE - 2021 IBC AND 2021 IEBC 2021 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) - ASHRAE 90.1-2019 2022 MECHANICAL SPECIALTY CODE 2021 OREGON ELECTRICAL SPECIALTY CODE 2021 OREGON PLUMBING SPECIALTY CODE

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION EXISTING OCCUPANCY CLASSIFICATION (Section 305) EDUCATION

2022 OREGON FIRE CODE

OPEN SPACE MANAGEMENT (OSM)

URBAN LOW DENSITY RESIDENTIAL (R-7, R-8.5)

PROPOSED OCCUPANCY CLASSIFICATION (Section 303 & 304) **GROUP A-3** ASSEMBLY

GROUP B BUSINESS

APPLICABLE ZONING:

CHAPTER 5: GENERAL BUILDING HEIGHTS AND AREAS (OSSC Table 504.3 & 504.4)

ALLOWABLE AREA DETERMINATEION (OSSC Table 506.2 & OSSC Section 508.3) Mixed-occupancy, multistory buildings

506.2.2 Mixed-occupancy buildings The allowable area of each story of a mixed-occupancy building shall be determined in accordance with the applicable

provisions of, Section 508.3.2 for non separated occupancies and Section 508.4.2 for separated occupancies

TYPE OF CONSTRUCTION ALLOWABLE AREA FACTOR (At) 27,000 SF 18,000 SF

506.3.3 Frontage Increase Factor Table 506.3.3 Frontage Increase Factor

Perimeter <30' Percentage of Building Perimeter 30' or greater

(838-162)/838 = 81% Allowable Frontage Increase Factor is 0.75

Aa = 18,000 + (6,000 * 0.75)Aa = 22,500 SF ALLOWABLE BUILDING AREA PER STORY

ACTUAL AREA

Aa = At + (NS * Lf)

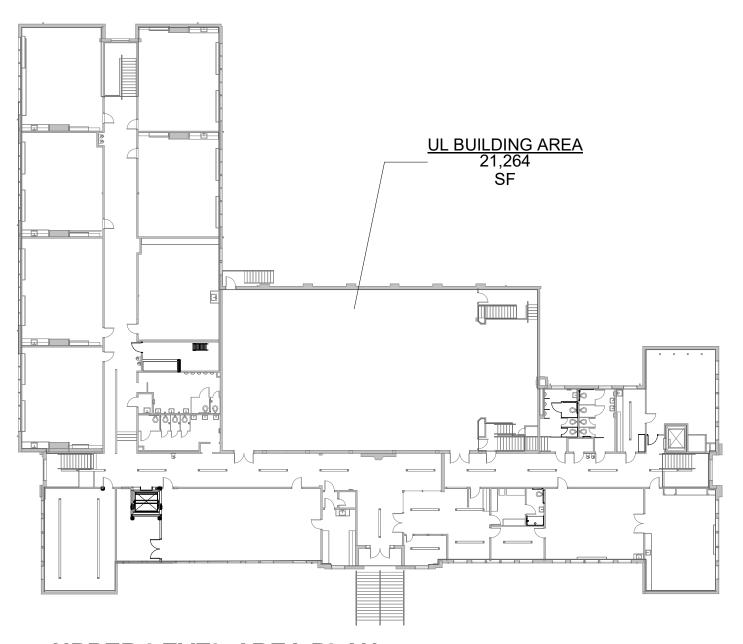
< 22,500 SF < 22,500 SF

2 STORIES **ACTUAL BUILDING HEIGHT**

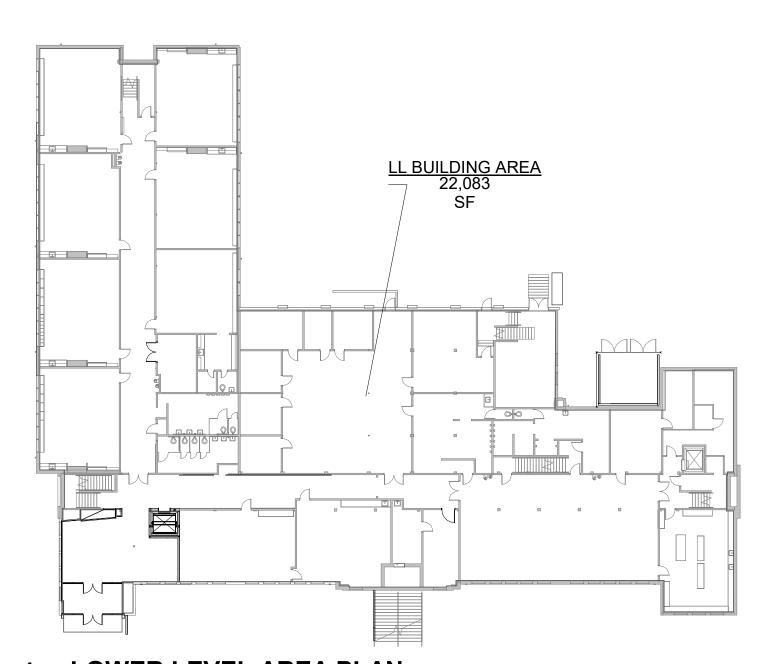
508.3.1 Non-separated occupancies

Non-separated occupancies shall be individually classified in accordance with section 302.1. The requirements of this code shall apply to each portion of the building based on the occupancy classification of that space. In addition the most restrictive provisions of Chapter 9 that apply to the nonseparated occupancies shall apply to the total nonseparated occupancy area. A-3 occupancy to be used.

508.3.2 Allowable building area, height and number of stories The allowable building area, height and number of stories is based on A-3 occupancy - see 506.3.3 above



2 | UPPER LEVEL AREA PLAN | 1" = 30'-0"



| LOWER LEVEL AREA PLAN 1 | LOWEF | 1" = 30'-0"

CHAPTER 6: TYPES OF CONSTRUCTION CONSTRUCTION CLASSIFICATION(TABLE 601) TYPE V-B FIRE RESISTIVE BUILDING ELEMENTS (Table 601) PRIMARY STRUCTURAL FRAME 0 HR 0 HR PRIMARY STRUCTURAL FRAME ROOF SUPPORTS 0 HR EXTERIOR BEARING WALLS 0 HR INTERIOR BEARING WALLS Table 602 EXTERIOR NON-BEARING WALLS OR PLATFORMS 0 HR INTERIOR NON-BEARING WALLS OR PLATFORMS 0 HR FLOOR CONSTRUCTION 0 HR ROOF CONSTRUCTION 0 HR STAIRWAY CONSTRUCTION SHAFT ENCLOSURE 1 HR

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE (Table 602) <u>ITEM</u> 1 HR X < 5 1 HR 5 < X < 10 0 HR 10 < X < 30 0 HR X > 30

CHAPTER 9: FIRE PROTECTION SYSTEMS AUTOMATIC SPRINKLER SYSTEM

SECTION 903 - BUILDING WILL BE FULLY SPRINKLERED NFPA 13: ANY NEW SPRINKLERS REQUIRED SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 13

PORTABLE FIRE EXTINGUISHERS

AS REQUIRED BY CODE - SEE PLANS FOR LOCATIONS AND SPECIFICATIONS FOR FIRE PROTECTION SPECIALTY EQUIPMENT

ALARM AND DETECTION (section 907.2)

PROVIDE ALARM AND DETECTION: MANUAL FIRE ALARM SYSTEM (Section 907.5) SMOKE ALARMS TO BE HARD WIRED WITH BATTERY BACKUP VOICE / ALARM COMMUNICATION SYSTEM (Section 907.5.2.2) NOT REQ'D SINCE OCC. LOAD UNDER 1000.

FIRE DEPARTMENT CONNECTIONS EXISTING FDC TO BE MAINTAINED

FIRE DEPARTMENT ACCESS

CHAPTER 10: MEANS OF EGRESS

FIRE DEPARTMENT ACCESS PROVIDED WATER SUPPLY: PROVIDE MINIMUM FIRE FLOW

SEE CODE PLANS FOR USE OF INDIVIDUAL SPACES AS WELL AS OCCUPANT LOADS

OCCUPANT LOAD - GENERAL (OSSC Table 1004.5)

OCCUPANT LOAD- CALCULATED

TOTAL OCCUPANT LOAD

MIN ALLOWABLE WIDTH IN INCHES (PER OSCC 2022 AND NIPA STAIRS: OCCUPANT LOAD x 0.2 (OSSC Section 1005.3.1 Exception 1: Sprinklers and Emergency Voice/ Alarm)
OTHER EGRESS COMPONENTS: OCCUPANT LOAD x 0.15 OSSC 1005.3.2 Exception 4: Sprinklers and Emergency Voice/ Alarm)

FIRE RATING: CORRIDORS IN SPRINKLERED TYPE A & B BLDGS NOT REQUIRED TO BE RATED (OSSC Table 1020.2)

MIN DOOR WIDTH 32" CLEAR (OSSC Section 1008.1.1) DOORS WHEN FULLY OPEN MAY NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 7" DOORS IN ANY POSITION MAY NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 1/2

COMMON PATH OF EGRESS TRAVEL (OSSC Section 1006.2.1 AND NFPA)

GROUP A-3 SPRINKLERED: 75' GROUP B SPRINKLERED: 100'

EXIT TRAVEL DISTANCE (OSSC Table 1017.2) GROUP A-3 SPRINKLERED: 250' GROUP B SPRINKLERED: 300'

CORRIDORS (OSSC Section 1020)

WIDTH: 44" MIN WIDTH (OSSC Table 1020.3)

NUMBER OF EXITS AND CONTINUITY (OSSC Section 1006) NUMBER OF EXITS: PER TABLE 1006.2.1

EXIT ACCESS DOORWAYS

2 DOORS REQUIRED IF OCCUPANT LOAD IS OVER 49 (OSSC Section 1006.2.1.1)

3 DOORS REQUIRED WITH OCCUPANT LOAD OF 501 TO 1,000 (OSSC Section 1006.2.1.1)

EXIT ACCESS DOORS SHALL BE SEPARATED BY 1/3 THE DIAGONAL

DIMENSION OF THE AREA SERVED (OSSC Section 1007.1.1 Exception 2)

TWO-WAY COMMUNICATION PER OSSC 1009.8: A TWO-WAY COMMUNICATION SYSTEM COMPLYING WITH SECTIONS 1009.8.1 AND 1009.8.2 SHALL BE PROVIDED AT THE LANDING SERVING THE NEW ELEVATOR. DIRECTION SIGNAGE TO THE EMERGENCY CALL STATION STATION SHALL BE PROVIDED AT THE EXISTING ELEVATOR.

RELATED PERMITS

CLACKAMAS COUNTY BUILDING

BUILDING -COMMERCIAL NEW BUILDING - COMMERCIAL NEW (UNDERGROUND FIRELINE) REFERENCE OAK LODGE LIBRARY BUILDING - PLUMBING (INTERIOR) BUILDING - PLUMBING - (SITE WORK) REFERENCE OAK LODGE LIBRARY

BUILDING - MECHANICAL COMMERCIAL BUILDING - FIRE SUPPRESSION: DELEGATED DESIGN

BUILDING - FIRE AND LIFE SAFETY SYSTEMS: ALARMS, SIGNALING, CALL SYSTEM. MANUAL FIRE ALARM SYSTEM TO ACTIVATE AN EMERGENCY VOICE/ALARM

COMMUNICATIONS SYSTEM: DELEGATED DESIGN **BUILDING - ELECTRICAL**

BUILDING - GRADING REFERENCE OAK LODGE LIBRARY PERMIT #G0001323 SIGNAGE 11. BUILDING DEMOLITION REFERENCE OAK LODGE LIBRARY PERMIT #B0436823

CLACKAMAS COUNTY DEVELOPMENT ENGINEERING 12. DEVELOPMENT PERMIT

REFERENCE OAK LODGE LIBRARY PERMIT #SC007523

CLACKAMAS COUNTY PLANNING 13. Z0020-23 CONDITIONAL USE PERMIT 14 Z0083-23 DESIGN REVIEW TYPE II

STATE OF OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ)

REFERENCE OAK LODGE LIBRARY PERMIT #48841

REFERENCE OAK LODGE LIBRARY PERMIT #OLWD: SD2023-005

OAK LODGE WATER DISTRICT 16 SITE DEVELOPMENT PERMIT

1200C

DEFERRED SUBMITTALS

SUPPORTS AND SESMIC BRACING OF PLUMBING EQUIPMENT DELEGATED

DESIGN (SPEC 22 0 48) SUPPORTS AND SESMIC BRACING OF HVAC EQUIPMENT

DELEGATED DESIGN (23 05 48) ACOUSTICAL PANEL CEILINGS

DELEGATED DESIGN (SPEC 09 51 13) ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS DELEGATED DESIGN

RE-ROOFING AND SEISMIC ANCHORAGE OF ROOF

INTERIOR GLAZING - SEISMIC DESIGN. DELEGATED DESIGN

CHAPTER 13: ENERGY EFFICIENCY: ASHRAE 90.1-2019

VESTIBULE:

CLIMATE ZONE:

VESTIBULE NOT REQUIRED PER ASHRAE 90.1-2016 EXCEPTION TO 4.2.1.3 HISTORIC BUILDING ALTERATIONS AND ARE NOT INTENDED TO BE PROVIDED AT LEVEL 01 ENTRIES. VESTIBULE NOT PROVIDED AT BASEMENT STAIR [H004] PER 2019 ASHRAE 90.1 SECTION 5.4.3.3.3 EXCEPTION 1. VESTIBULE NOT PROVIDED AT BASEMENT FINE ART STORAGE [020] PER 2019 ASHRAE 90.1 SECTION

(ASHRAE STANDARD 169)

VESTIBULE PROVIDED AT NEW ACCESSIBLE ENTRANCE REFERENCE OREGON STATE ENERGY CODE. NOTE - PROJECT IS UTILIZING SECTION 5.6 'BUILDING ENVELOPE TRADE OFF COMPLIANCE PATH'. ENVELOPE COMPONENT DESIGN VALUES SHOWN BELOW ARE FOR REFERENCE ONLY. REFERENCE

OEESC 2021 MINIMUM DESIGN REQUIREMENTS MIN PROVIDED DESIGN **ROOF INSULATION - ATTIC** MASS WALLS - ABOVE DECK R-9.5 c.i. WALLS - BELOW GRADE R-7.5 c.i. R-13 + R-7.5 c.i. STEEL FRAMES WALLS - ABOVE GRADE FLOOR - STEEL JOIST R-30 UNHEATED SLAB ON GRADE R-15 FOR 24" R-15 for 24" U≤ .36, SHGC≤ .27 VERTICAL FENESTRATION - FIXED U = .36 MAX, SHGC = .36

U = .63 MAX, SHGC = .33

SPECIFICATIONS AND COMCHECK FORMS FOR ADDITIONAL PRODUCT INFORMATION.

VERTICAL FENESTRATION - ENTRANCE DOOR

CLASS II VAPOR BARRIER WITH A PERM RATING GREATER THAN 0.1 AND LESS THAN OR EQUAL TO 1.0.

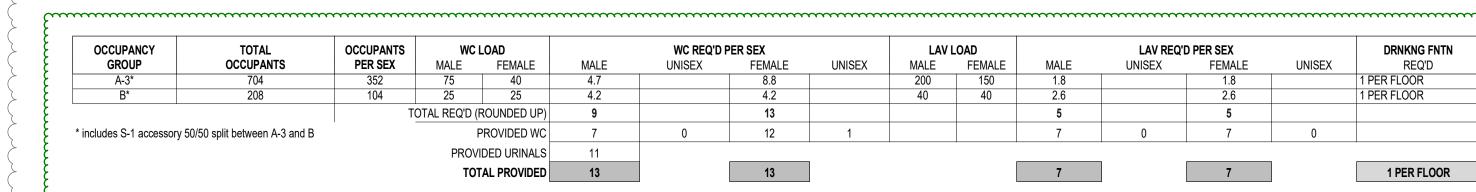
Project Owner: **NORTH CLACKAMAS** PARKS AND RECREATION

OCCUPANT LOAD - PLUMBING CALCULATED OCCUPANCY = 911

OCCUPANT LOADS HAVE BEEN APPLIED PER OSSC 2022 SEE CODE PLANS FOR USE OF INDIVIDUAL SPACES AS WELL AS OCCUPANT LOADS

REQUIRED FIXTURE COUNT PER OSSC CHAPTER 29 AND TABLE 2902.1

SEE BELOW FOR MULTIPLE OCCUPANCY SCENARIOS. PLUMBING FIXTURE REQUIREMENTS MET FOR ALL SCENARIOS. (URINALS may replace water closets at a ratio of 1 urinal per 2/3 water closet)



U≤ .63, SHGC≤ .33

UPDATE URINALS <30' OPEN SPACE **FUTURE OAK** LODGE LIBRARY CONCORD COMMUNITY CENTER

A Permit Cycle #1 03/25/2024 PR 02

Revisions to Sheet

ADD-1

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CLACKAMAS

Project Name:

CENTER

CONCORD COMMUNITY

3811 SE Concord Road,

Milwaukie, OR 97267

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10/03/2023

02/17/2025

Sheet Title **CODE ANALYSIS**

> Sheet No. A0.20

3 LOWER LEVEL - FRONTAGE INCREASE
1" = 40'-0"

291 occs. 43.65 in. req. 72 in. width ______ OFFICE OFFICE 6 occs. 1 exits req. PROVIDE OCCUPANCY LIMIT SIGN 'MAXIMUM OCCUPANCY 49 PERSONS' RECREATION FITNESS CLASSROOM 795 SF 50 SF FITNESS CLASSROOM 14 occs. 1 exits req. OFFICE OFFICE 147 SF 150 SF
 STORAGE

 120
 B

 559 SF
 300 SF
 2 occs. 1 exits req. 1 occs. 1 exits req. 1 occs. 1 exits req. 2 occs. 1 exits req. MECHANICAL / STORAGE
 ELECTRICAL

 122
 S-1

 636 SF
 300 SF

 3 occs.
 1 exits req.
 164 SF 300 SF 1 occs. 1 exits req. FITNESS CLASSROOM

101 (16) A-3

1629 SF 20 SF STORAGE OUT OF SERVICE 125 B 405 SF 300 SF 2 occs. 1 exits req.
 STORAGE

 124A
 S-1

 172 SF
 300 SF

 1 occs.
 1 exits req.
 82 occs. 2 exits req. RESTROOM
 STORAGE

 115
 B

 162 SF
 300 SF
 OUT OF SERVICE STORAGE 123 S-STORAGE
 STORAGE

 124
 S-1

 311 SF
 300 SF

 2 occs.
 1 exits req.
 1 occs. 1 exits req. 1681 SF 300 SF 6 occs. 1 exits req. 2 occs. 1 exits req.
 STORAGE

 121
 B

 601 SF
 300 SF
 STORAGE 3 occs. 1 exits req. 1 occs. 1 exits req. 91 occs. 13.65 in. req. 72 in. width FROM UPPER LEVEL 103' < 250' MAX TRAVEL FIRE ALARM CONTROL PANEL STORAGE TWO WAY COMMUNICATION EVENT ROOM
127 A-3 KITCHEN SYSTEM PER OSSC 1009.8 1 occs. 1 exits req. **126 B** 722 SF 200 SF 2048 SF 15 SF 137 occs. 2 exits req. BIKE STORAGE

128 S-1

264 SF 300 SF
1 occs. 1 exits req. OFFICE DOOR 100-2 HARDWARE SUMMARY: 4 occs. 1 exits req. OPENING MECHANISMS: ADA ACTUATORLONG DOOR PULL RECEPTION LOCKING DEVICE (N) HORN/STROBE & PASSAGE PÚLL STATION WITHIN KNOX BOX, EKC-1 DOOR 133-1 AND 133-2 HARDWARE SUMMARY: (E) SERVER RACKS ——— OPENING MECHANISMS:
• ACCESS CONTROL ELECTRIC PANIC HARDWARE LOCKING DEVICE DOOR 100-1 HARDWARE SUMMARY: ACCESS CONTROL OPENING MECHANISMS: ADA ACTUATOR ACCESS CONTROL ELECTRIC PANIC HARDWARE LONG DOOR PULL LOCKING DEVICE ACCESS CONTROL REFERENCE A0.80 FOR ACCESSIBLE ROUTE

CODE LEGEND FIRE RATED SEPARATIONS 1 HOUR FIRE RATED SEPARATION 3 HOUR FIRE RATED SEPARATION 4 HOUR FIRE RATED SEPARATION — DIAGONAL DISTANCE ACROSS SPACE PATH OF EGRESS (MAX. TRAVEL TRAVEL DISTANCE IN FEET TRAVEL DISTANCE IN FEET 100 EXIT LOAD INDICATOR Room name — ROOM NAME A-1 — AREA / OCCUPANCY - occs. - exits req. OCCUPANCY LOAD (ACTUAL) / REQUIRED NUMBER OF EXITS _____SQUARE FOOTAGE / LOAD FACTOR_

DoorExitName — EXIT NAME (OPTIONAL) DOOR OCCUPANTS SERVED REQUIRED DOOR WIDTH ACTUAL DOOR WIDTH

 EGRESS LIGHTING **FIXTURES** - EXIT SIGN (SEE ELECTRICAL PLANS FOR LOCATION) FIRE EXTINGUISHER CABINET

NOTE: SEE DOOR SCHEDULE FOR FIRE RATED DOORS

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02/06/2025 02/17/2025

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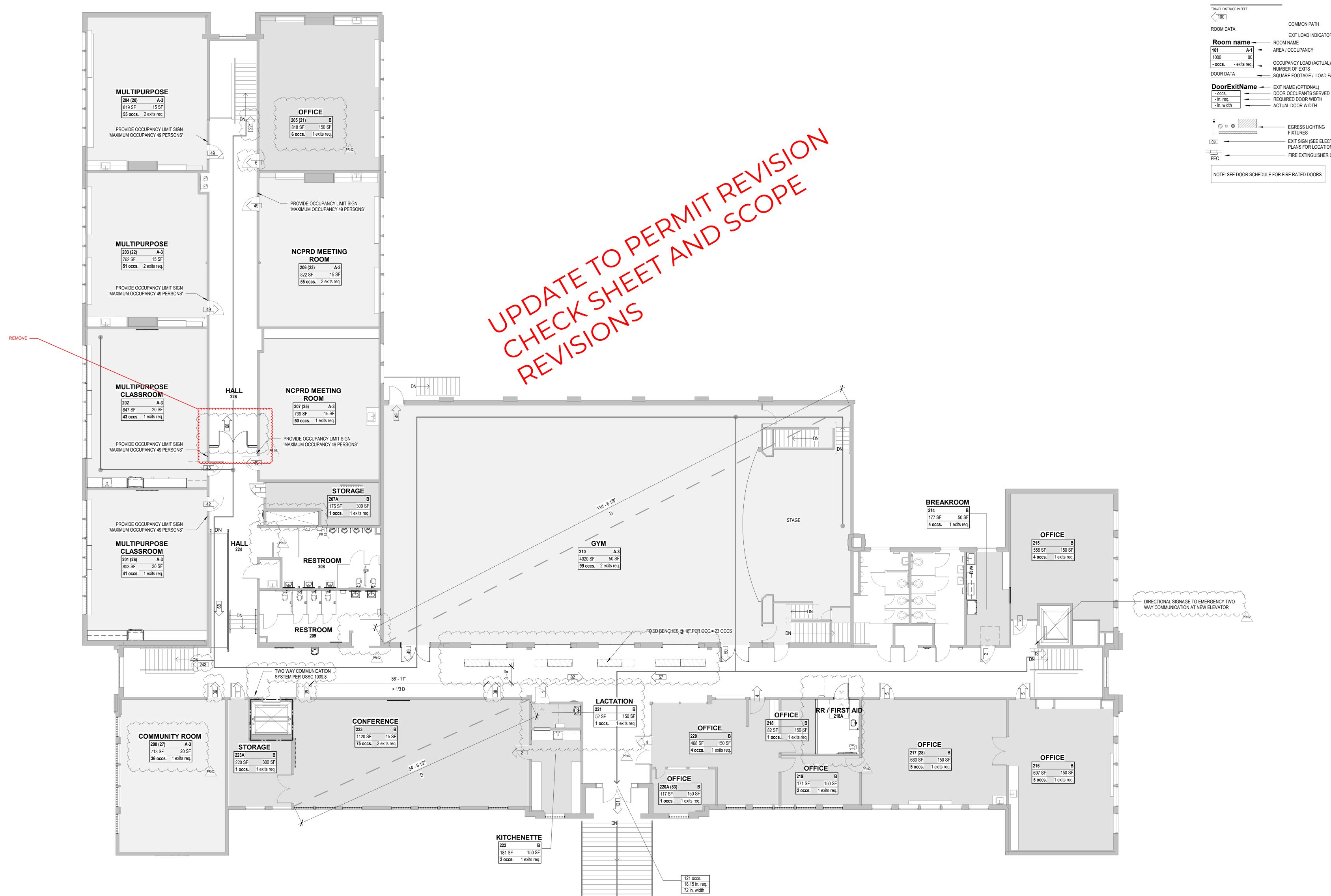
9.14.2023

FIRE & LIFE **SAFETY PLAN-LOWER LEVEL**

Sheet No. A0.31

4775-08

| LOWER LEVEL - LIFE SAFETY PLAN



REFERENCE A0.80 FOR ACCESSIBLE ROUTE



FIRE RATED SEPARATIONS 1 HOUR FIRE RATED SEPARATION 2 HOUR FIRE RATED SEPARATION 3 HOUR FIRE RATED SEPARATION 4 HOUR FIRE RATED SEPARATION ——— DIAGONAL DISTANCE ACROSS SPACE TRAVEL DISTANCE IN FEET TRAVEL DISTANCE IN FEET

CODE LEGEND

EXIT LOAD INDICATOR Room name — ROOM NAME A-1 - AREA / OCCUPANCY

- occs. - exits req. OCCUPANCY LOAD (ACTUAL) / REQUIRED NUMBER OF EXITS SQUARE FOOTAGE / LOAD FACTOR_ **DoorExitName** — EXIT NAME (OPTIONAL)

- EXIT SIGN (SEE ELECTRICAL PLANS FOR LOCATION) FIRE EXTINGUISHER CABINET

NOTE: SEE DOOR SCHEDULE FOR FIRE RATED DOORS

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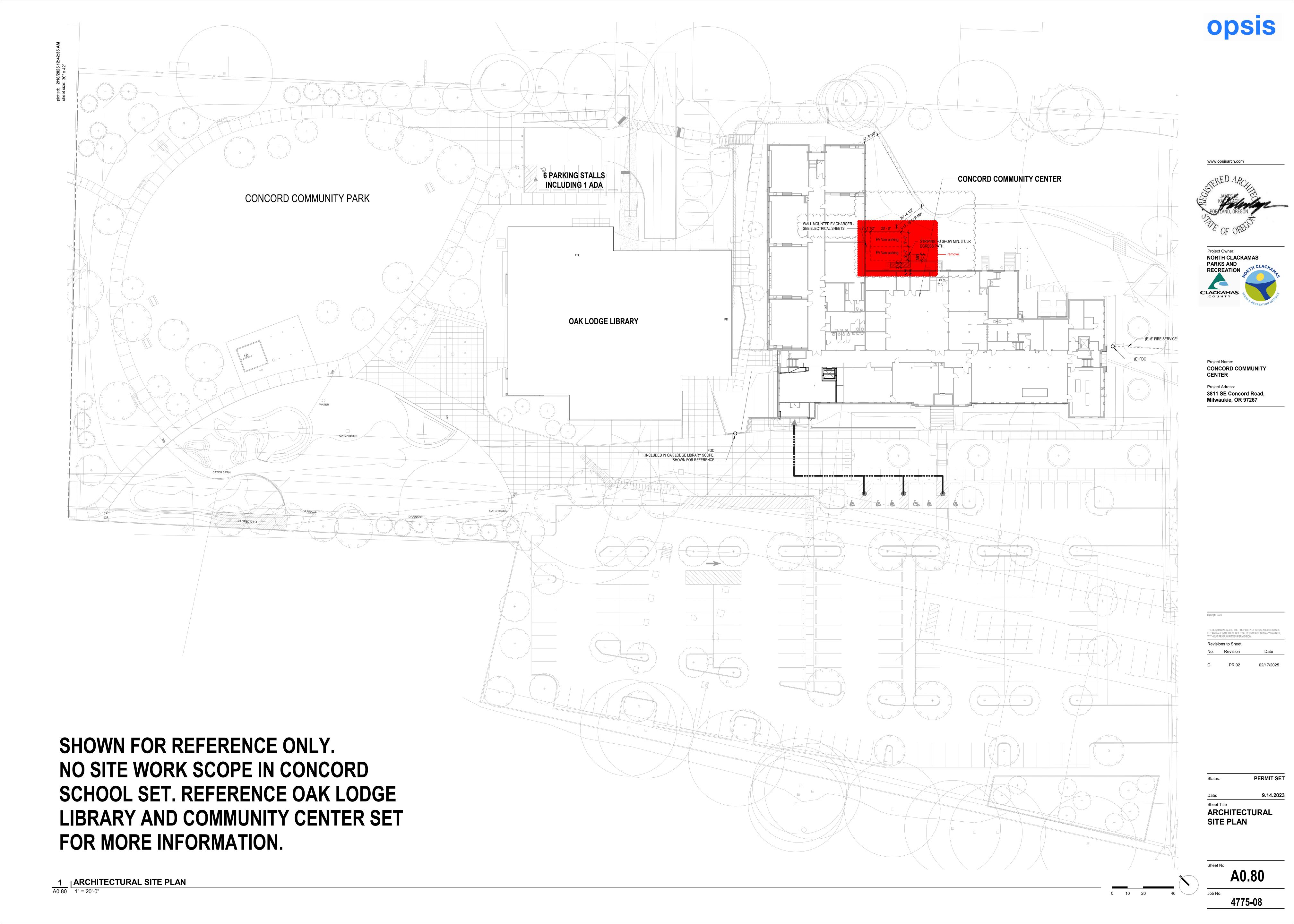
A Permit Cycle #1 04/19/2024 RFI 100 02/06/2025 02/17/2025 PR 02

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9.14.2023

FIRE & LIFE SAFETY PLAN-UPPER LEVEL

A0.32



| LOWER LEVEL - PROPOSED T.I

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C O U N T Y

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CENTER

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 No.
 Revision
 Date

 3
 ADD-2
 04/19/2024

 C
 PR 02
 02/17/2025

Status: PERMIT SET

Date: 9.14.2023

Sheet Title

LOWER LEVEL
FLOOR PLAN

LOWER LEVEL FLOOR PLAN (T.I)

A1.11b

4775**-**08

PR 02

FLOOR PLANS SHEET NOTES

REFERENCE SHEET A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION

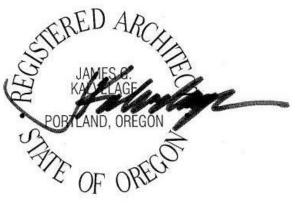
REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES. NOT ALL LIGHTING IS SHOWN ON THE ARCHITECTURAL PLAN REFERENE SHEETS A0.20, A0.31, AND A0.32 FOR CODE INFORMATION

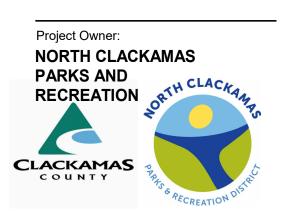
REFERENCE SHEET 0.40 FOR ASSEMBLY TYPES
REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS
ALL FURNITURE SHOWN FOR REFERENCE ONLY - OFOI.
PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRP

PANEL FINISH REFERENCE FLOOR PLANS & ENLARGED FLOOR PLANS ALL DIMENSIONS REFERENCE (E) CONDITIONS TO BE V.I.F.

IN AREAS OF WORK AT EXISTING, PATCH AND REPAIR WALL, CEILING, AND FLOORS TO MATCH EXISTING COLOR AND TEXTURE. PREPARE WALL AND FLOORS AT LOCATIONS RECEIVING NEW FINISHES PER MANUFACTURERS RECOMMENDATIONS.

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ADD-1 A Permit Cycle #1 03/25/2024 RFI 58 09/04/2024 02/17/2025

PR 02

PERMIT SET

9.14.2023 UPPER LEVEL

FLOOR PLAN

A1.12b



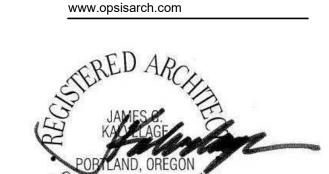
1 LOWER LEVEL -ENLARGED PROPOSED_ADD ALT.

1/4" = 1'-0"

FLOOR PLANS SHEET NOTES

- REFERENCE SHEET A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION
- REFERENCE LIGHTING / ELECTRICAL FOR LIGHTING TYPES. NOT ALL LIGHTING IS SHOWN ON THE ARCHITECTURAL PLAN
- REFERENE SHEETS A0.20, A0.31, AND A0.32 FOR CODE INFORMATION REFERENCE SHEET 0.40 FOR ASSEMBLY TYPES
- REFERENCE EXTERIOR ELEVATIONS FOR EXTERIOR MATERIALS ALL FURNITURE SHOWN FOR REFERENCE ONLY - OFOI.
- PROVIDE BLOCKING AS REQUIRED FOR ALL LOCATIONS TO RECEIVE FRP PANEL FINISH
- REFERENCE FLOOR PLANS & ENLARGED FLOOR PLANS ALL DIMENSIONS REFERENCE (E) CONDITIONS TO BE V.I.F. IN AREAS OF WORK AT EXISTING, PATCH AND REPAIR WALL, CEILING, AND FLOORS TO MATCH EXISTING COLOR AND TEXTURE. PREPARE WALL AND FLOORS AT LOCATIONS RECEIVING NEW FINISHES PER MANUFACTURERS RECOMMENDATIONS.

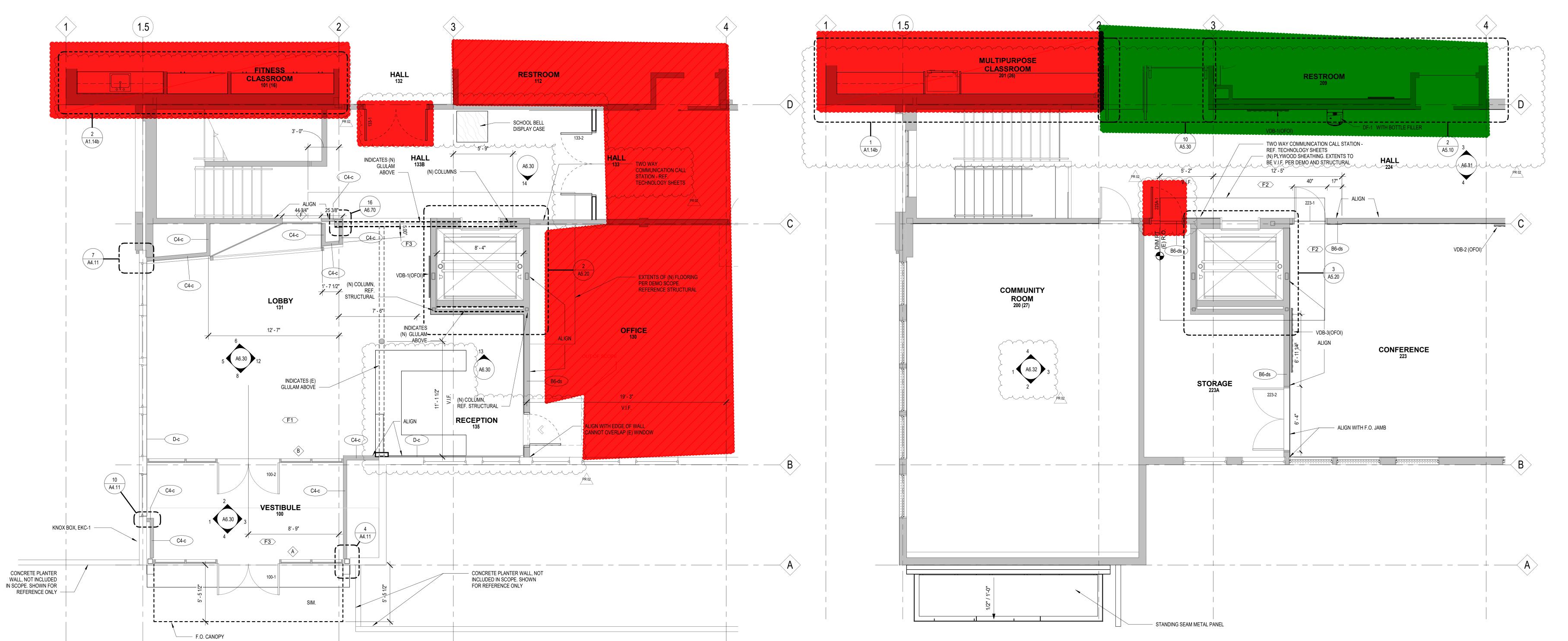






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2 | UPPER LEVEL -ENLARGED PROPOSED_ADD ALT. | 1/4" = 1'-0"

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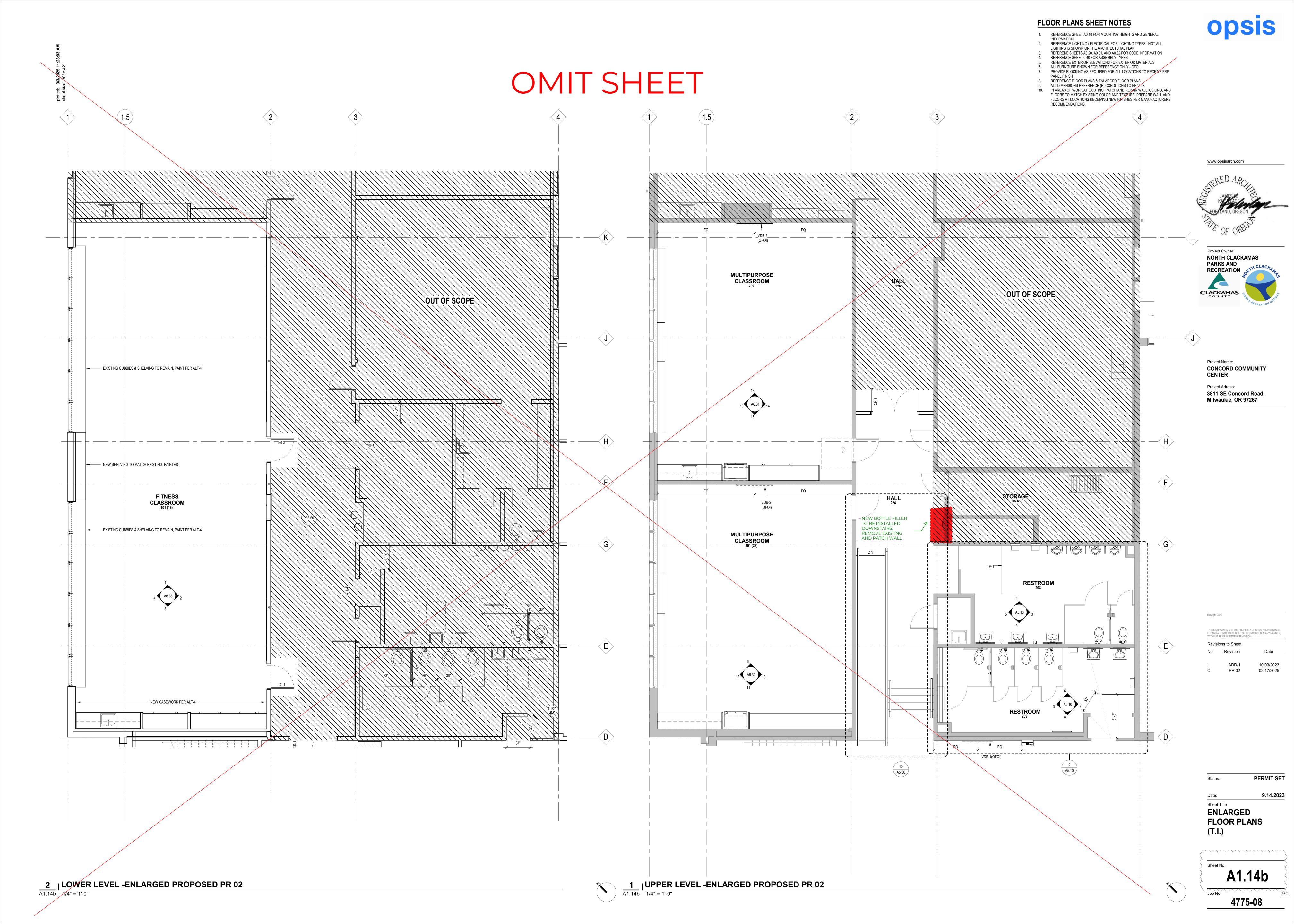
ADD-1 10/03/2023 RFI 25 07/15/2024 07/23/2024 02/17/2025

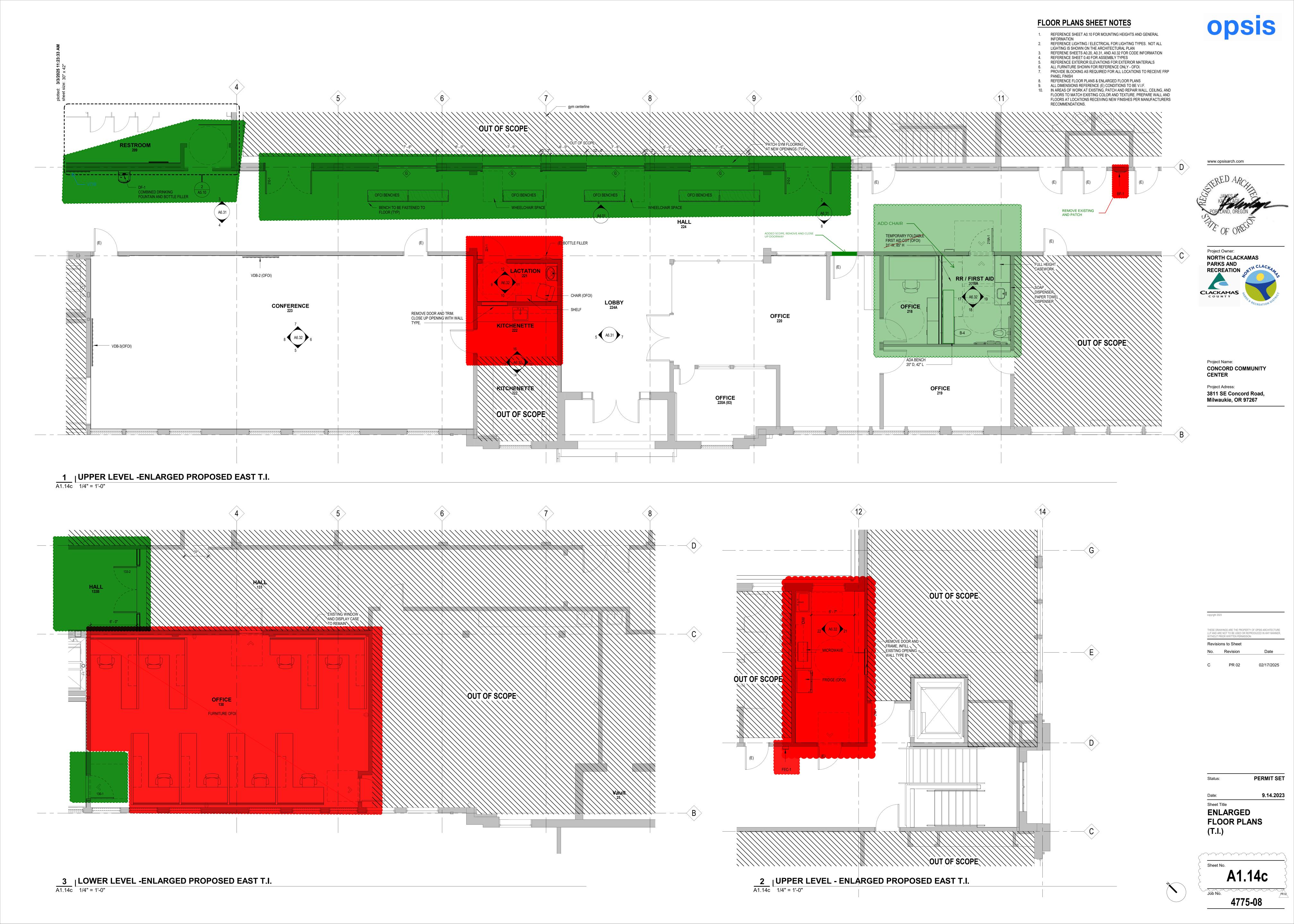
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9.14.2023 Sheet Title

ENLARGED FLOOR PLAN-ADD ALTERNATES

A1.14







1 | LOWER LEVEL FINISH - PR02 | 1/8" = 1'-0"

FINISH PLANS SHEET NOTES

1. REFERENCE A0.00 FOR ARCHITECTURAL ABBREVIATIONS (KEYNOTES) AND

REFERENCE A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION.
REFERENCE LIGHTING / ELECTRICAL FOR DEVICE TYPES. REFERENCE MECHANICAL AND PLUMBING FOR FIXTURE TYPES. PATTERNS SHOWN IN FINISH PLANS AND FLOOR TYPE KEY ARE REPRESENTATIVE. SEE SPECIFICATIONS FOR STYLE AND TYPE. REFER TO SPECIFICATIONS FOR TILE

ORIENTATION AND INSTALLATION METHOD. REFERENCE SPECIFICATIONS FOR PAINT SYSTEMS. PROVIDE FLUSH TRANSITION FROM WALK OFF MAT TO CARPET.

PROVIDE TRANSITIONS BETWEEN MATERIAL TYPES PER SPECIFICATIONS.
WHERE FLOOR MATERIALS CHANGE BETWEEN ROOMS, MAKE TRANSITION AT CENTER LINE OF DOOR. 10. ALL FLOOR TRANSITIONS SHALL MEET ADA REQUIREMENTS

COORDINATE WITH FLOORING AND ADHESIVE MANUFACTURER'S RECOMMENDATIONS. 13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR

SIZES, QUANTITIES, AND LOCATIONS. 14. IN AREAS OF WORK AT EXISTING, PATCH AND REPAIR WALL, CEILING, AND FLOORS TO MATCH EXISTING COLOR AND TEXTURE. PREPARE WALL AND FLOORS AT LOCATIONS RECEIVING NEW FINISHES PER MANUFACTURERS RECOMMENDATIONS.

FLOOR FINISH LEGEND

AREA NOT IN TI SCOPE RESILIENT FLOORING 1 RESILIENT FLOORING 2

RESILIENT FLOORING 3

POLISHED CONCRETE

RESILIENT ATHLETIC FLOORING

RESILIENT FLOORING 4

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Project Name: CONCORD COMMUNITY CENTER

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C PR 02 02/17/2025

PERMIT SET 9.14.2023 Sheet Title

LOWER LEVEL FINISH PLAN -

A1.15b

4775-08



1 UPPER LEVEL FINISH - PR02 1/8" = 1'-0"

FINISH PLANS SHEET NOTES

1. REFERENCE A0.00 FOR ARCHITECTURAL ABBREVIATIONS (KEYNOTES) AND REFERENCE A0.10 FOR MOUNTING HEIGHTS AND GENERAL INFORMATION.

REFERENCE LIGHTING / ELECTRICAL FOR DEVICE TYPES. REFERENCE MECHANICAL AND PLUMBING FOR FIXTURE TYPES. PATTERNS SHOWN IN FINISH PLANS AND FLOOR TYPE KEY ARE REPRESENTATIVE. SEE SPECIFICATIONS FOR STYLE AND TYPE. REFER TO SPECIFICATIONS FOR TILE ORIENTATION AND INSTALLATION METHOD. REFERENCE SPECIFICATIONS FOR PAINT SYSTEMS.

PROVIDE FLUSH TRANSITION FROM WALK OFF MAT TO CARPET. PROVIDE TRANSITIONS BETWEEN MATERIAL TYPES PER SPECIFICATIONS. WHERE FLOOR MATERIALS CHANGE BETWEEN ROOMS, MAKE TRANSITION AT

CENTER LINE OF DOOR. 10. ALL FLOOR TRANSITIONS SHALL MEET ADA REQUIREMENTS MATCH NOTED COLORS TO SUBMITTED MANUFACTURERS PAINT COLORS. 12. CONCRETE UNDER FLOOR FINISHES TO RECEIVE TROWEL FINISH AND NO SEALERS.

COORDINATE WITH FLOORING AND ADHESIVE MANUFACTURER'S RECOMMENDATIONS. 13. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS FOR

SIZES, QUANTITIES, AND LOCATIONS. 14. IN AREAS OF WORK AT EXISTING, PATCH AND REPAIR WALL, CEILING, AND FLOORS TO MATCH EXISTING COLOR AND TEXTURE. PREPARE WALL AND FLOORS AT LOCATIONS RECEIVING NEW FINISHES PER MANUFACTURERS RECOMMENDATIONS.

FLOOR FINISH LEGEND

AREA NOT IN TI SCOPE **RESILIENT FLOORING 1** RESILIENT FLOORING 2 RESILIENT FLOORING 3

POLISHED CONCRETE

RESILIENT FLOORING 4

RESILIENT ATHLETIC FLOORING (ADD ALTERNATE)

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Project Adress: 3811 SE Concord Road, Milwaukie, OR 97267

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ADD-1 02/17/2025 PR 02

PERMIT SET

9.14.2023 Sheet Title

UPPER LEVEL FINISH PLAN -

A1.17b

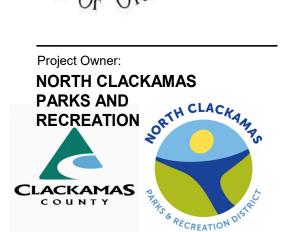
4775-08

PR 02

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 No.
 Revision
 Date

 1
 ADD-1
 10/03/2023

 C
 PR 02
 02/17/2025

us: PERMIT SET

Date: 9.14.2023
Sheet Title

LOWER LEVEL RCP

A1.22



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C PR 02

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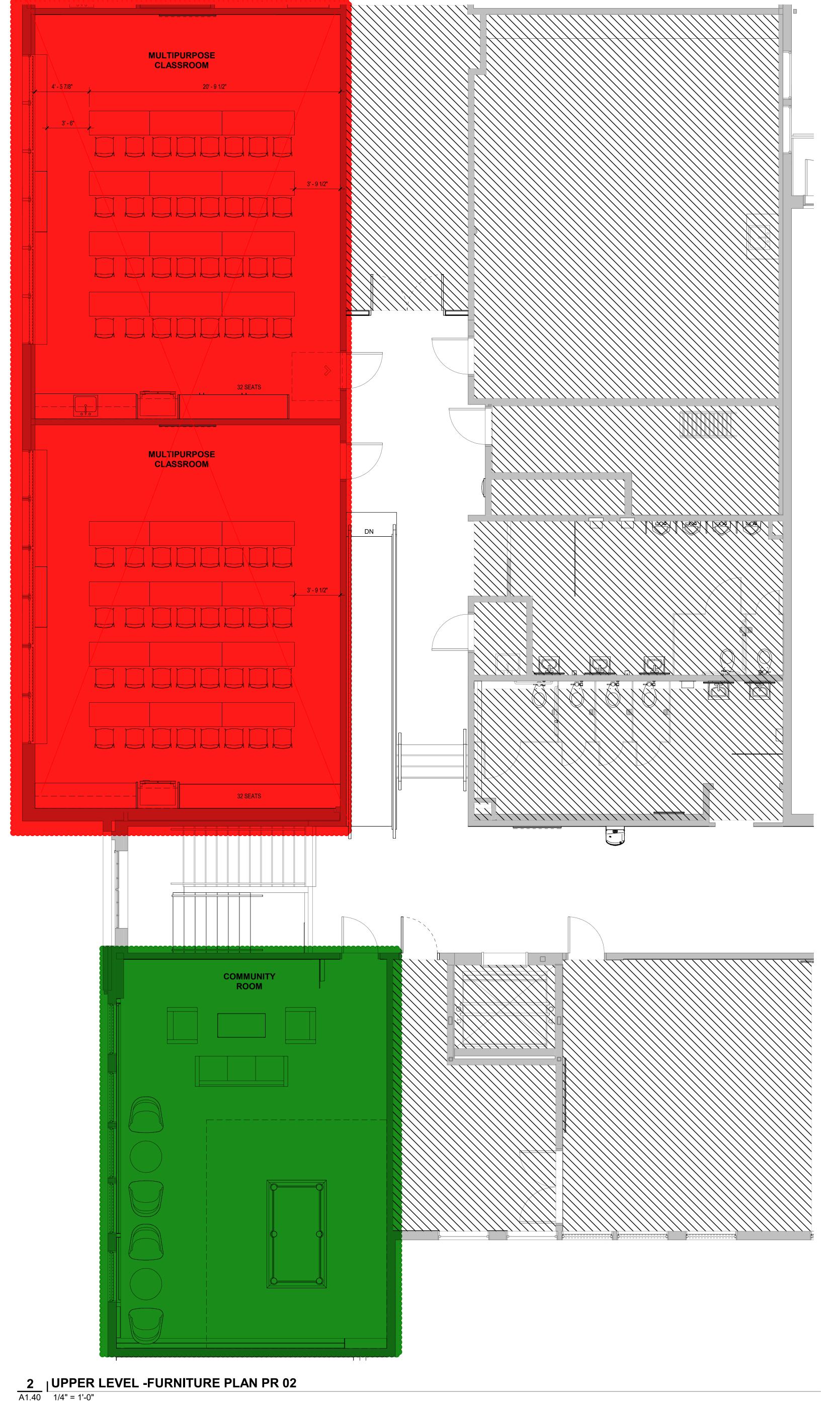
02/17/2025

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9.14.2023 Sheet Title

UPPER LEVEL RCP

A1.23



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02/17/2025

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us: PERMIT SET

Date: 9.14.2023

Sheet Title
FURNITURE
PLANS

A1.40



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(N) FULL HEIGHT CASEWORK

OFFICE FURNITURE OF

OFFICE 218

OFFICE 219

UPDATE ----

OFFICE 220A (83)

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NORTH CLACKAMAS

PARKS AND

RECREATION

ORTH CLA CLACKAMAS COUNTY

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CONCORD COMMUNITY
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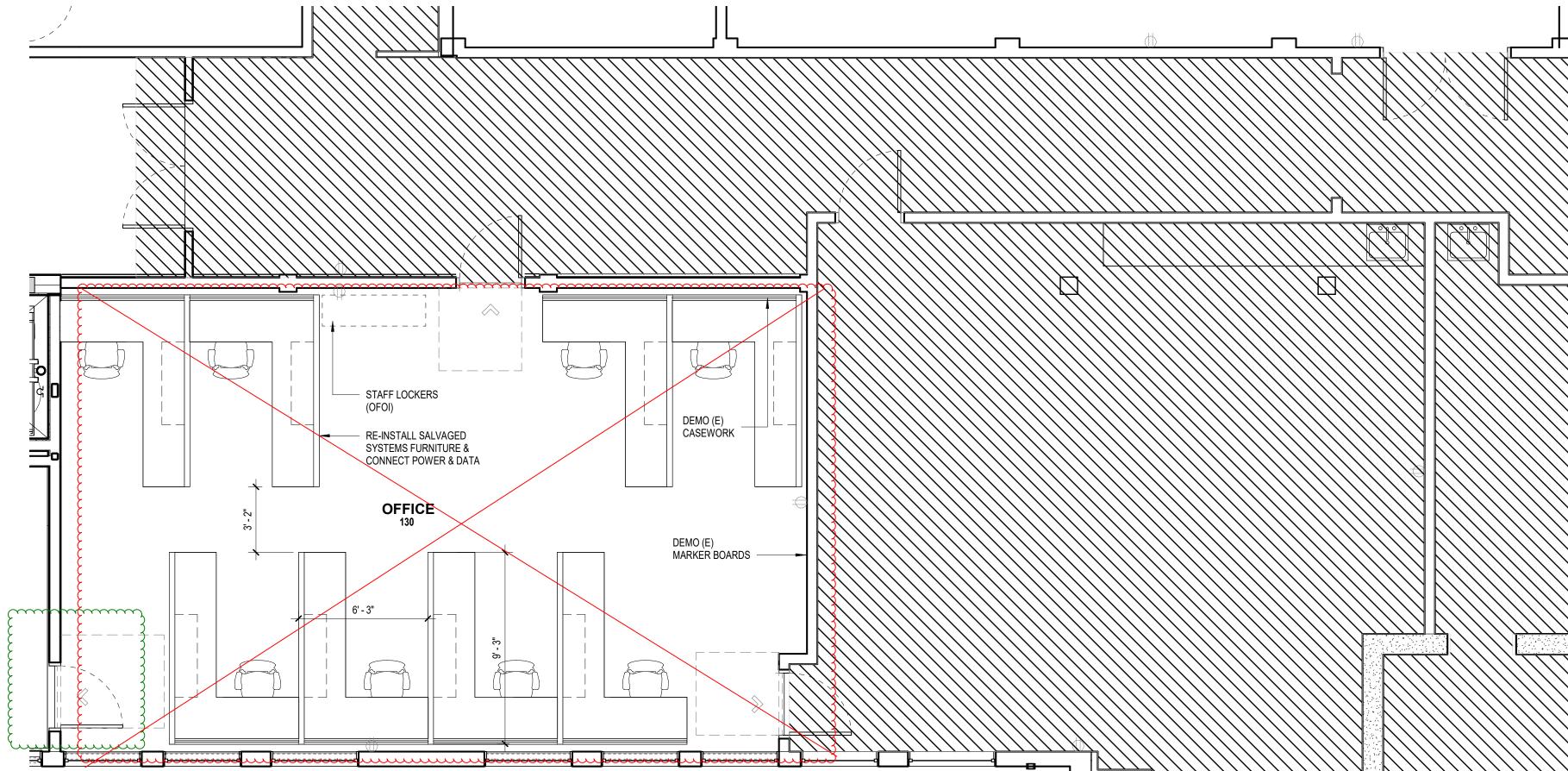
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 STAFF LOCKERS DEMO (E) CASEWORK RE-INSTALL SALVAGED
 SYSTEMS FURNITURE &
 CONNECT POWER & DATA DEMO (E) MARKER BOARDS —

CONFERENCE 223

2 | LOWER LEVEL -FURNITURE PLAN EAST PR 02 | 1/4" = 1'-0"

1 UPPER LEVEL -FURNITURE PLAN EAST PR 02



NEW BENCH, TYP., OFCI
CONTRACTOR TO AFFIX TO FLOOR
AS REQ'D.

N) CHAIR OFOI

N) CASEWORK

(N) CONVENIENCE SHELF

WHEELCHAIR CLR. AREA (FOR REFERENCE ONLY)

LACTATION

KITCHENETTE 222

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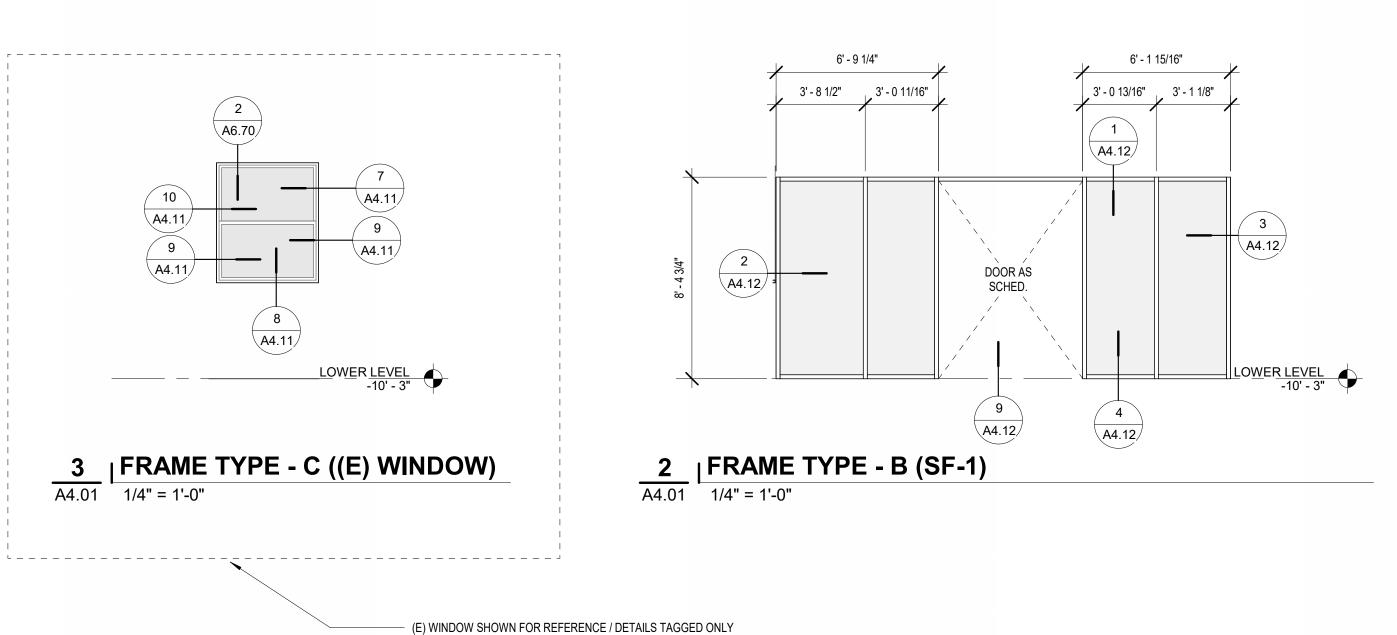
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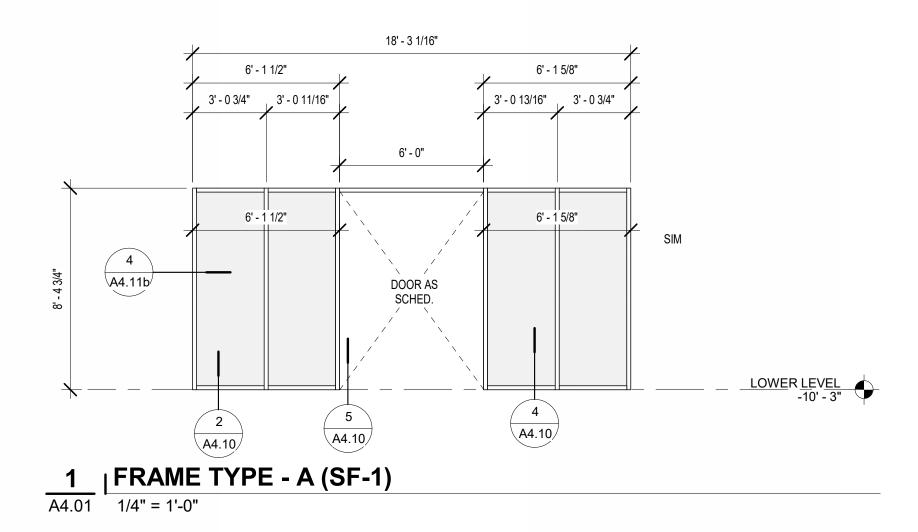
9.14.2023

Sheet Title
FURNITURE
PLANS

A1.41

EXTERIOR OPENING TYPES





EXTERIOR OPENINGS SHEET NOTES

- VERIFY ALL DIMENSIONS IN THE FIELD INTERMEDIATE DIMENSIONS ARE TO CENTERLINE OF MULLION SEE DOOR SCHEDULE FOR DOOR OPENING DIMENSIONS AND
- 4. OVERALL DIMENSIONS ARE FOR FRAME, UON. REF DETAILS TO
- DETERMINE R.O. DIMENSIONS 5. REFER TO ELEVATIONS FOR CONDITIONS WHERE TYPICAL EXTERIOR STOREFRONT SYSTEMS ARE MIRRORED
- STOREFRONT TYPES ARE DESIGNATED WITH A PREFIX OF 'SF-'
 REFERENCE SPECIFICATION FOR GLAZING TYPES AND LOCATIONS,
 INCLUDING TEMPERED GLASS, TYP. U.N.O.
- 8. FOR SYMBOLS AND ABBREVIATIONS SEE SHEET A0.01

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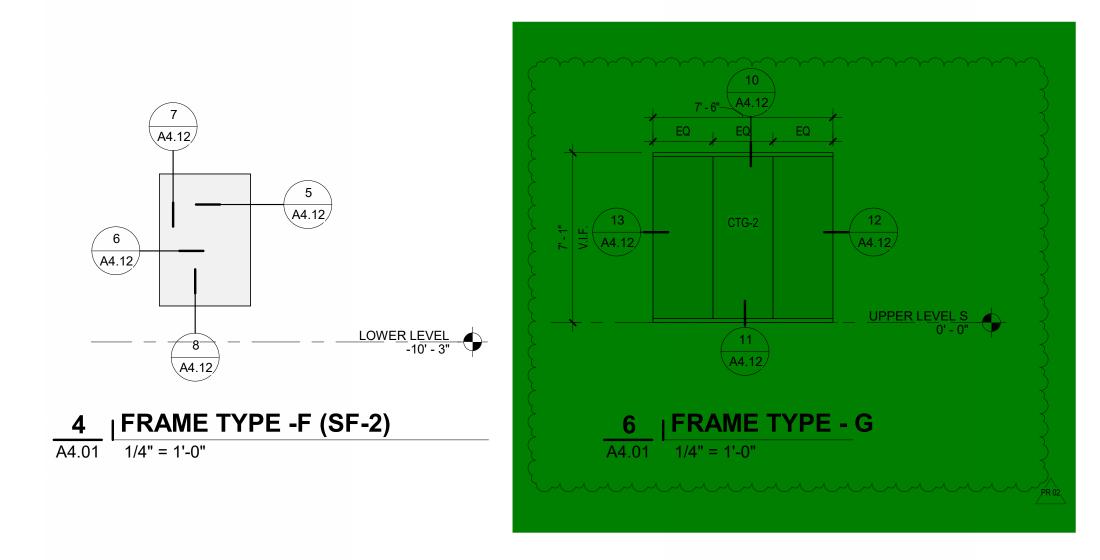




Project Name: CONCORD COMMUNITY

3811 SE Concord Road, Milwaukie, OR 97267

INTERIOR OPENING TYPES



DOOR SCHEDULE & DOOR TYPES

DOOR SCHEDULE											
		Door		Pai	nel		Frame				
Door Number	Width	Height	Thickness	Material	Finish	Type	Material	Finish	Fire Rating	Hardware	Remarks
100-1	6' - 0"	8' - 2 3/4"	0' - 1 1/2"	SF-1	FACTORY	F	SF-1	FACTORY		1	ACTUATOR, PANIC HW, CARD READER
100-2	6' - 0"	8' - 2 3/4"	0' - 1 1/2"	SF-1	FACTORY	F	SF-1	FACTORY		2	ACTUATOR, PANIC HW
108-1	6' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-4	F	HM-1	P-4		8	
128-1	4' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-4	F	HM-1	P-4		3	
207A-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-4	F	HM-1	P-4		4	
215-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-4	V	HM-1	P-4		5	
223-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-4	V	HM-1	P-4		6	ADD ALT.01 ONLY
223-2	6' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-4	F	HM-1	P-4		8	

N	PER SCHEDULE	PER SCHEDULE	2' - 0"
PER SCHEDULE		010"	3'-4"
	F	FG	V
5 A4.01	DOOR PAN 1/4" = 1'-0"	NEL TYPES	

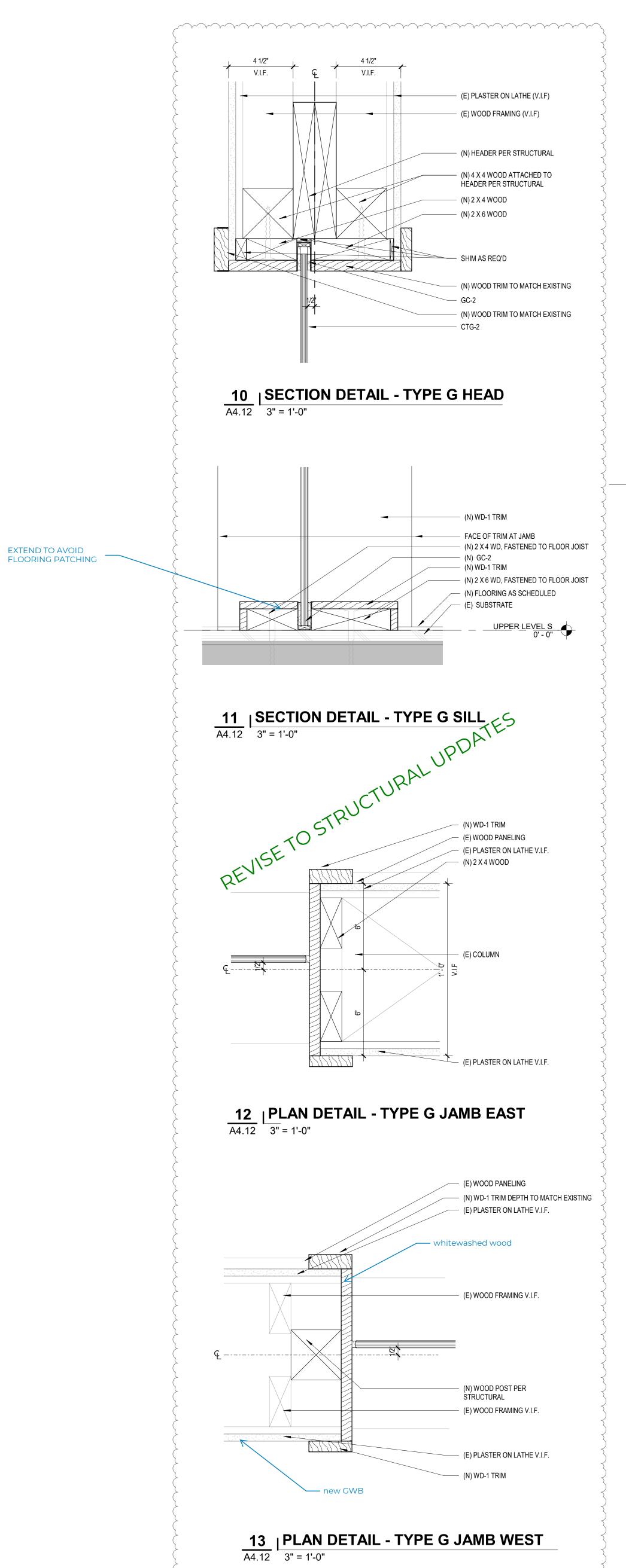
						DOOR SO	HEDULE PR 02				
	Door			Panel		Frame					
Door Number	Width	Height	Thickness	Material	Finish	Туре	Material	Finish	Fire Rating	Hardware	Remarks
101-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	FG	HM-1	P-X	NR	10	ADD ALT.04 ONLY
101-2	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	FG	HM-1	P-X	NR	10	ADD ALT.04 ONLY
130-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	V	HM-1	P-X	NR	11	
133-1	6' - 0"	7' - 0"	0' - 1 3/4"	EXISTING	P-X	EXISTING-F	EXISTING	P-X	NR	12	EXISTING DOOR, NEW PANIC HARDWARE CARD READER
133-2	6' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	V2	HM-1	P-X	NR	13	PANIC HARDWARE, CARD READER
210-1	6' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	FG2	HM-1	P-X	NR	14	PANIC HARDWARE
210-2	6' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	FG2	HM-1	P-X	NR	14	PANIC HARDWARE
218A-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	F	HM-1	P-X	NR	15	PRIVACY INDICATOR LOCK
221-1	3' - 0"	7' - 0"	0' - 1 3/4"	EXISTING	P-X	EXISTING-F	EXISTING	P-X	NR	15	PRIVACY INDICATOR LOCK
223A-1	3' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	F	HM-1	P - X	NR	16	
224-1	6' - 0"	7' - 0"	0' - 1 3/4"	HM-1	P-X	F	HM-1	P-X	NR	13	PANIC HARDWARE, CARD READER

Revisions to Sheet

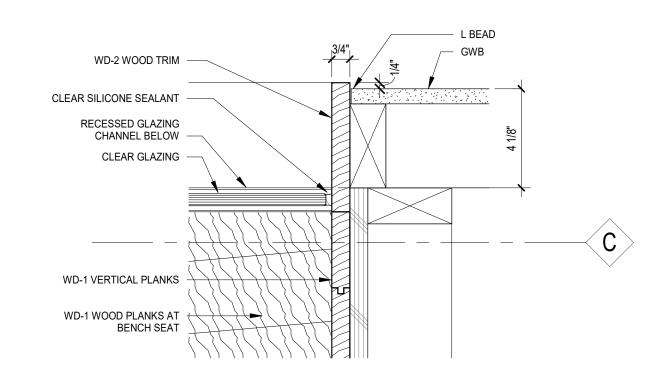
PERMIT SET

9.14.2023 DOOR SCHEDULE,

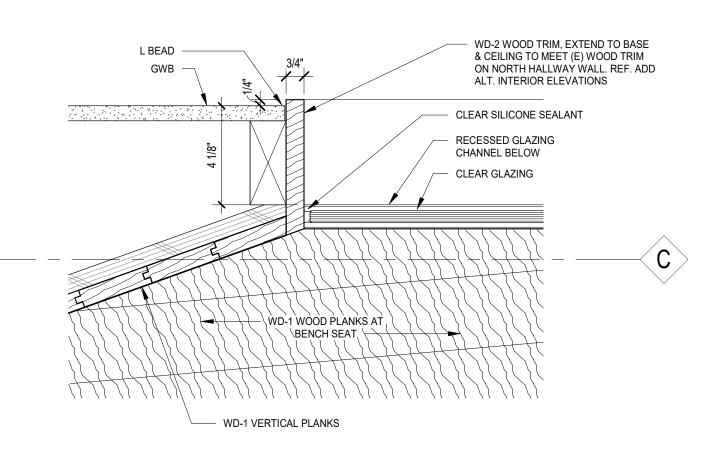
DOOR & **FRAMED OPENING TYPES**



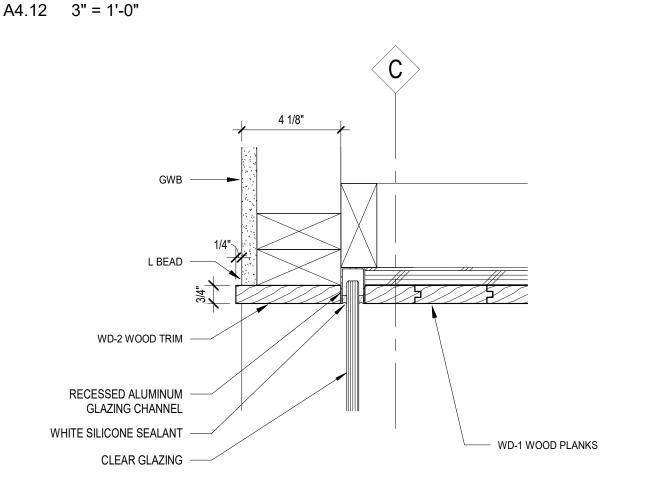
munimunimunimunimunimi



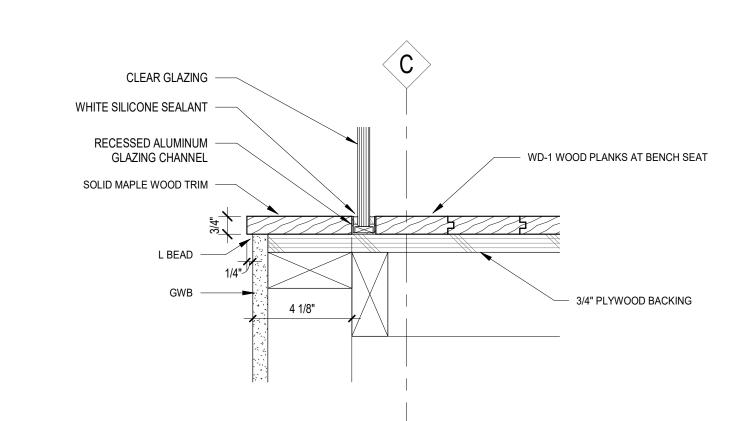
5 | PLAN DETAIL - JAMB @ F(2) | 3" = 1'-0"



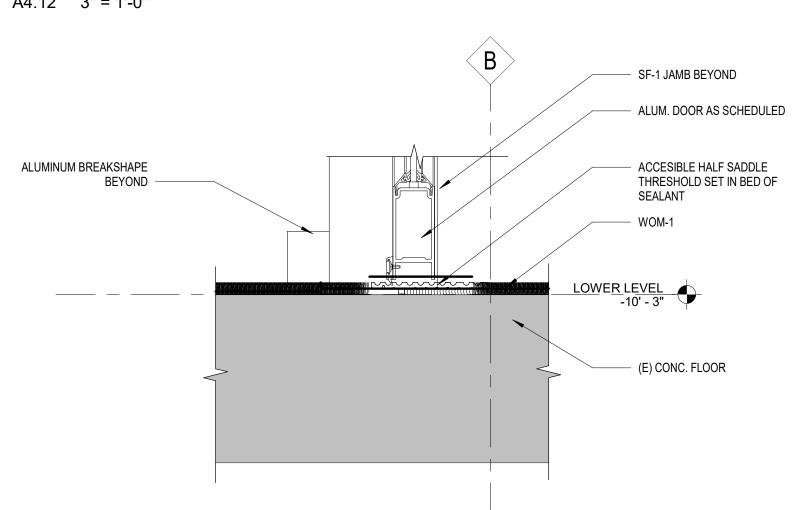
6 A4.12 PLAN DETAIL - JAMB @ SF-2 (F)



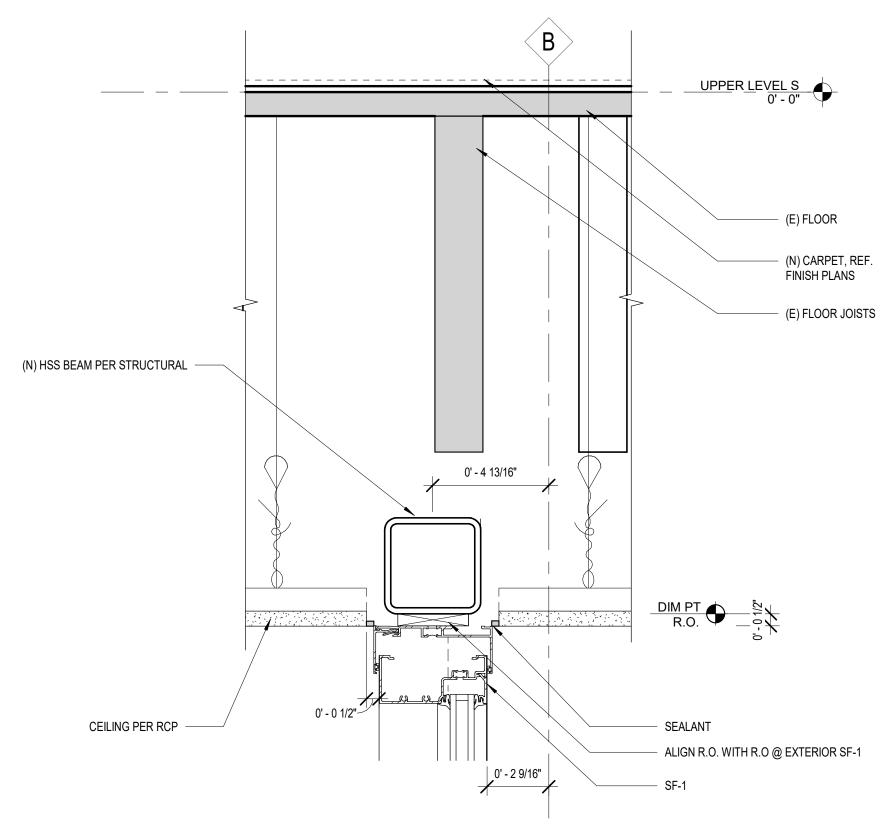
7
A4.12 | SECTION DETAIL - HEAD @ SF-1 (F)
3" = 1'-0"



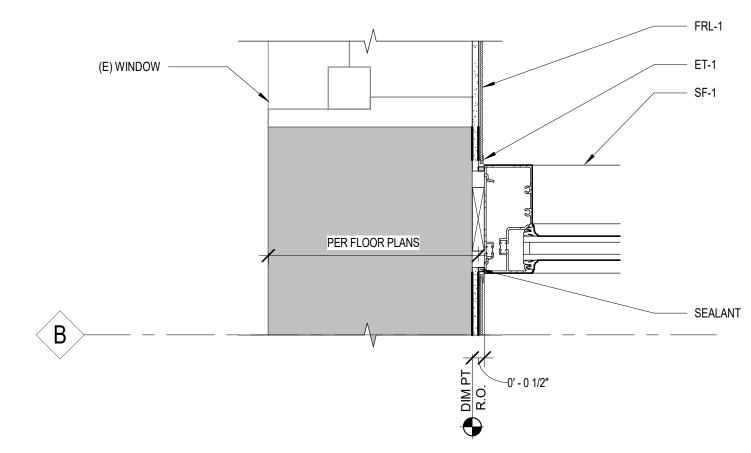
8 | SECTION DETAIL - SILL @ BENCH | 3" = 1'-0"



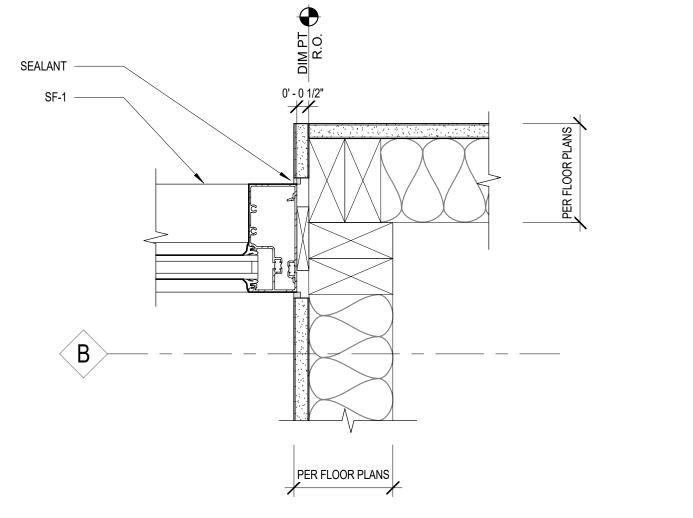
9 | SECTION DETAIL - SILL THRESHOLD @ SF-1 (B) | 3" = 1'-0"



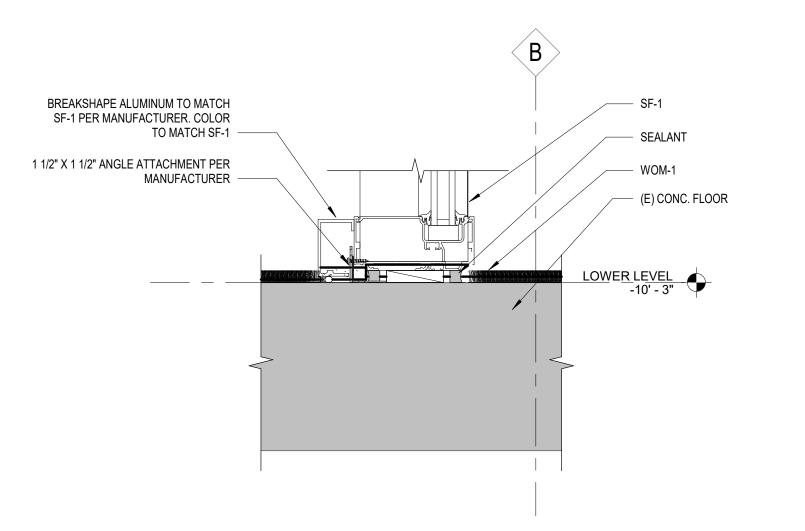
1 SECTION DETAIL - HEAD @ SF-1 (B) 3" = 1'-0"



2 | PLAN DETAIL - JAMB @ SF-1 (B) NORTH
3" = 1'-0"



3 | PLAN DETAIL - JAMB @ SF-1 (B) SOUTH



4 | SECTION DETAIL - SILL @ SF-1 (B)

A4.12 3" = 1'-0"

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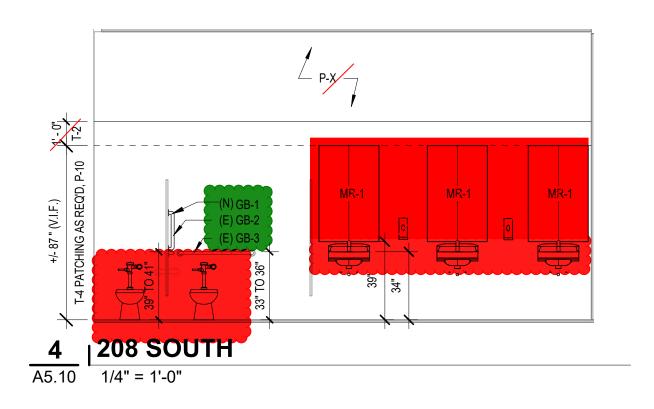
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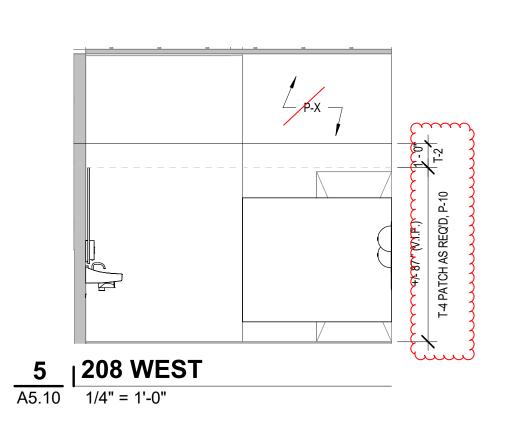
PR 02

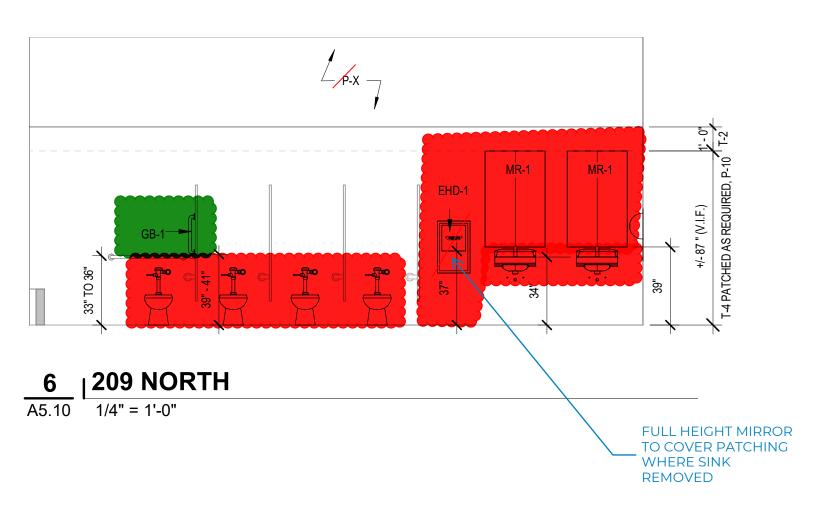
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Sheet Title **INTERIOR** OPENING DETAILS

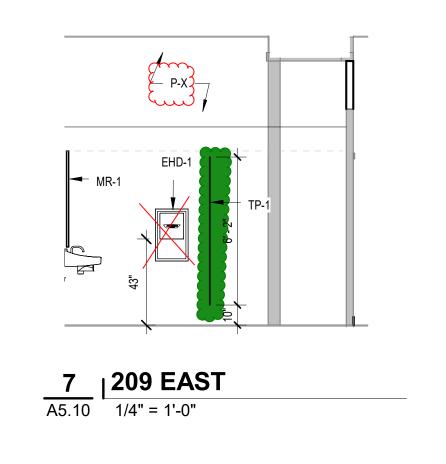
Sheet No. A4.12

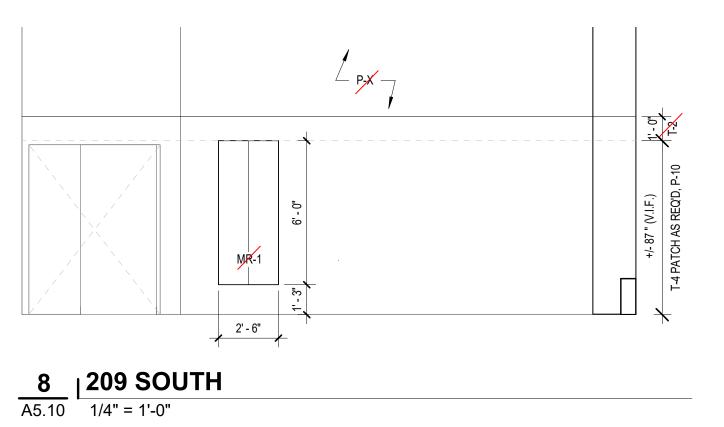


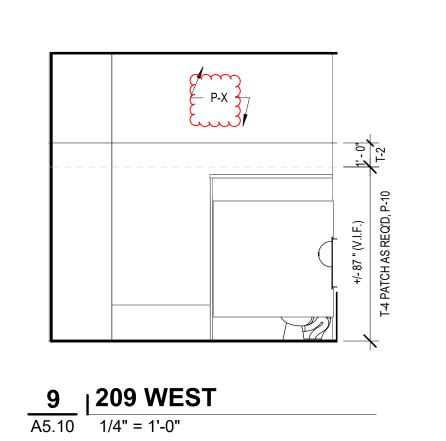


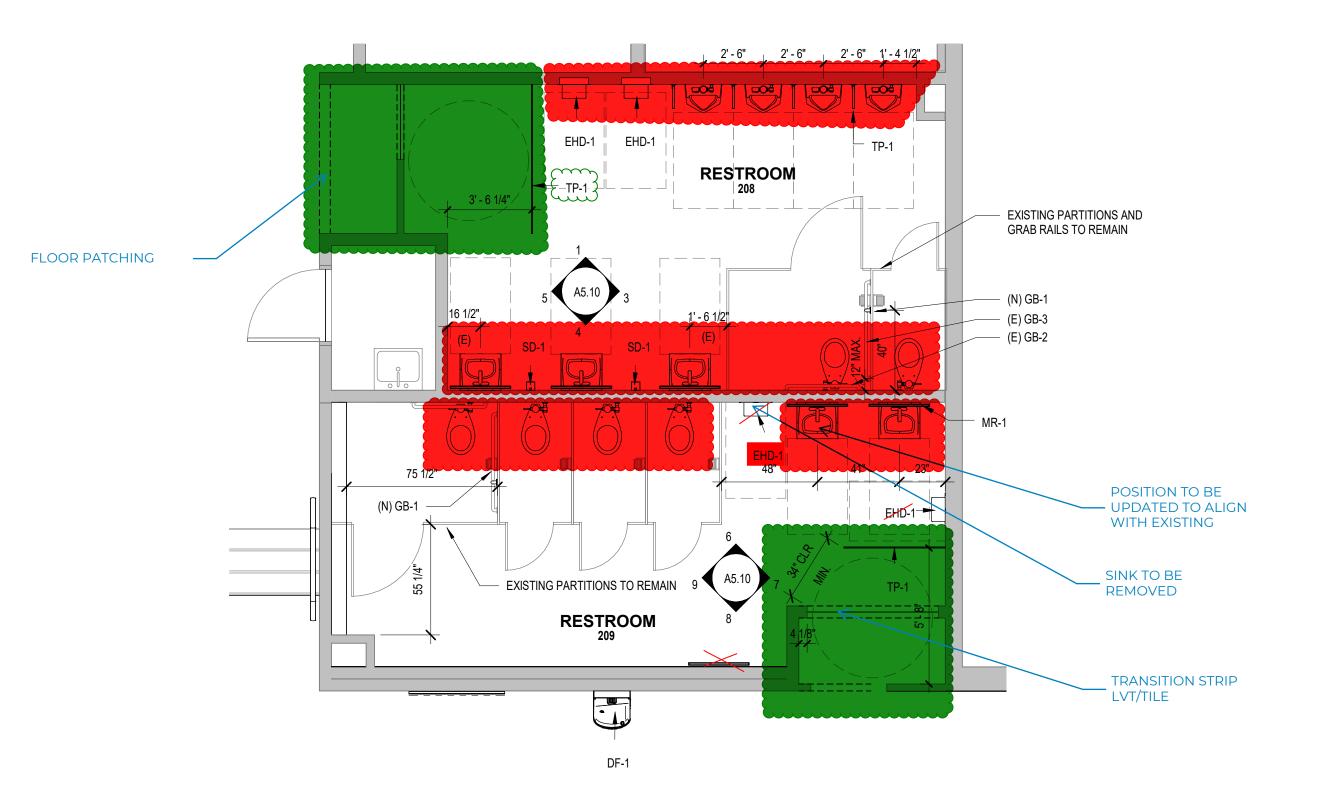


P-X -









2 UPPER LEVEL -ENLARGED RESTROOMS PR 02
1/4" = 1'-0"

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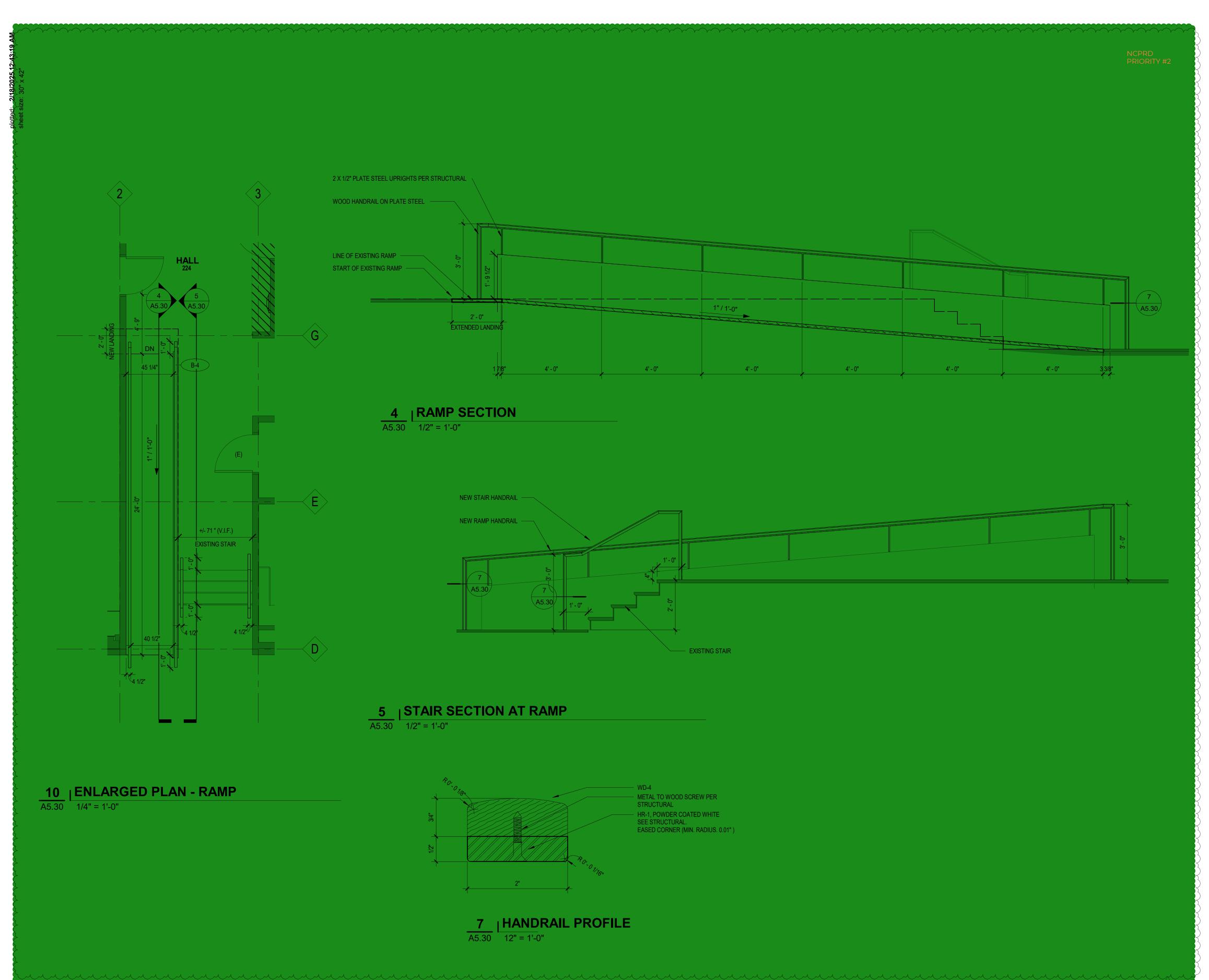
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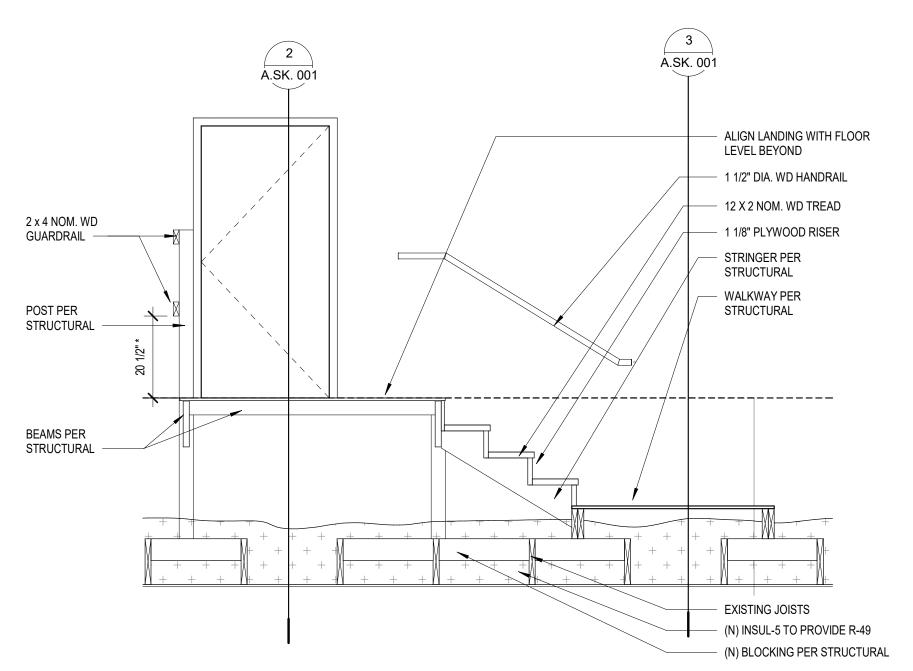
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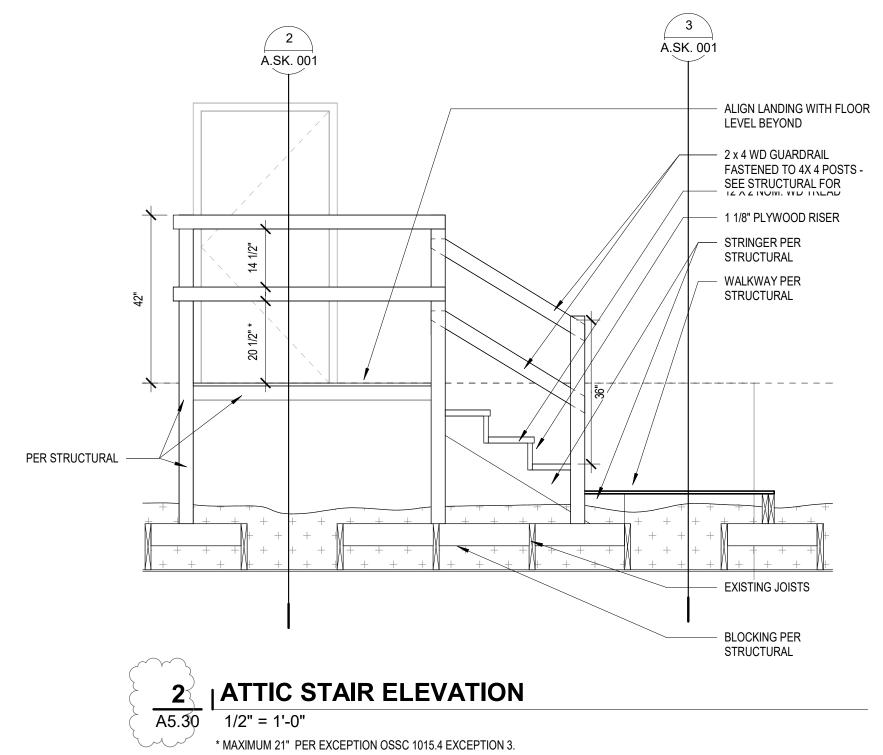
PERMIT SET 9.14.2023 Date:
Sheet Title **ENLARGED** RESTROOMS DRAWINGS

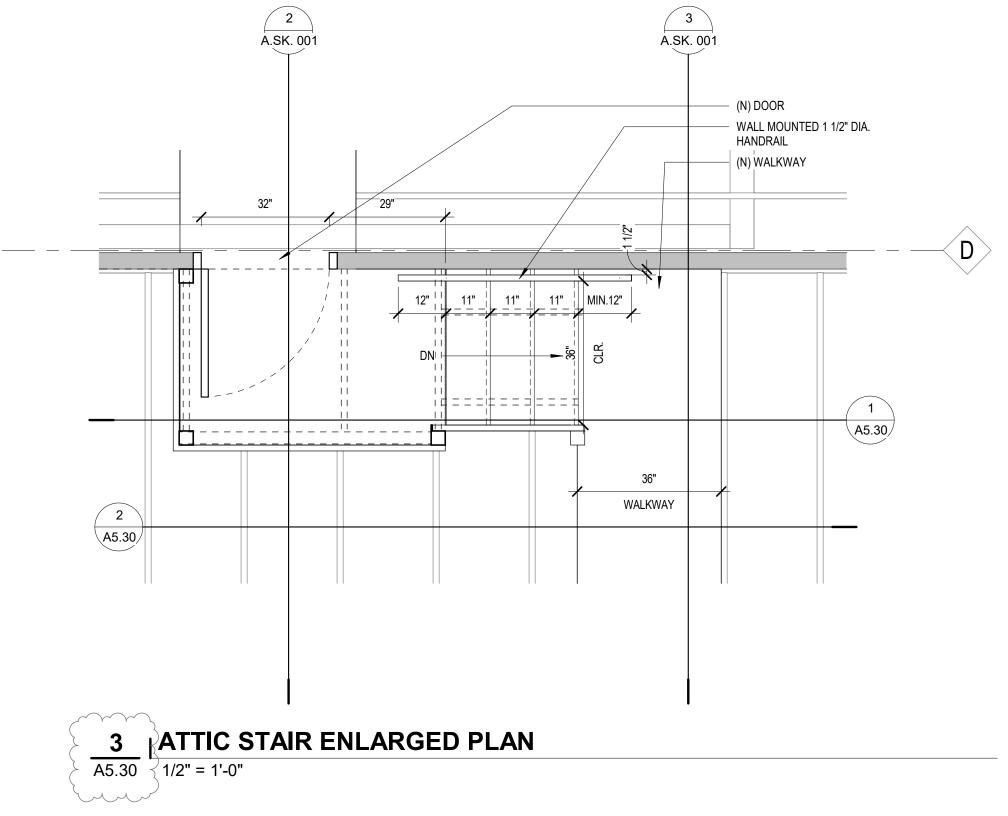
A5.10





1 A5.30 ATTIC STAIR SECTION
1/2" = 1'-0"







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No. Revision Date

RFI 81 11/16/2021
C PR 02 02/17/2025

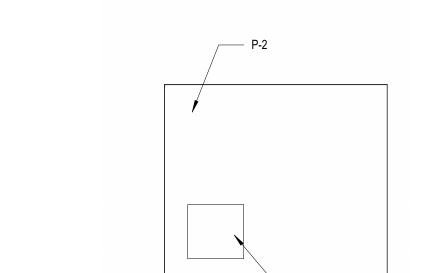
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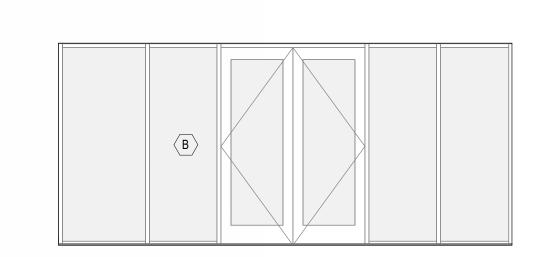
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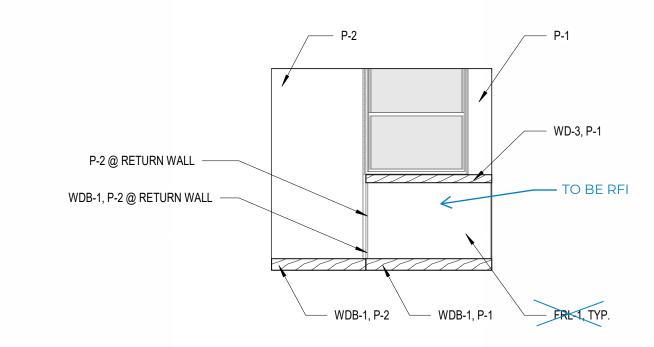
Sheet Title
ENLARGED
STAIR
DRAWINGS

A5.30

Job No. **4775-08**







1 A6.30 1/4" = 1'-0"

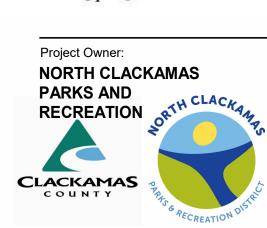
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INTERIOR ELEVATIONS SHEET NOTES

ALL WALLS P-1 U.N.O.
REF. A4.01 FOR INTERIOR FRAME TYPES
REFER TO SPECIFICATIONS FOR FINISH INFORMATION.
REFER TO SPECIFICATIONS FOR HARDWARE INFORMATION.
REFER TO A0.40 FOR INTERIOR WALL ASSEMBLY TYPES.
REFER TO A0.10 FOR TYPICAL MOUNTING HEIGHT
REQUIREMENTS



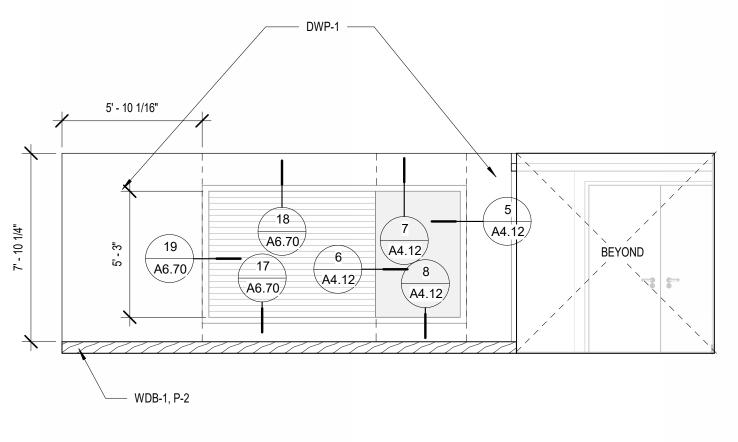
Project Name: CONCORD COMMUNITY CENTER

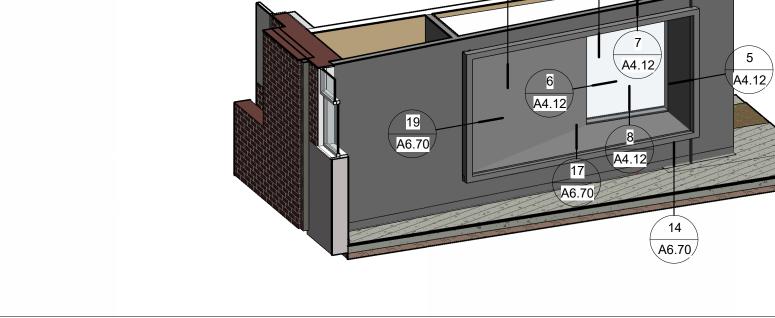
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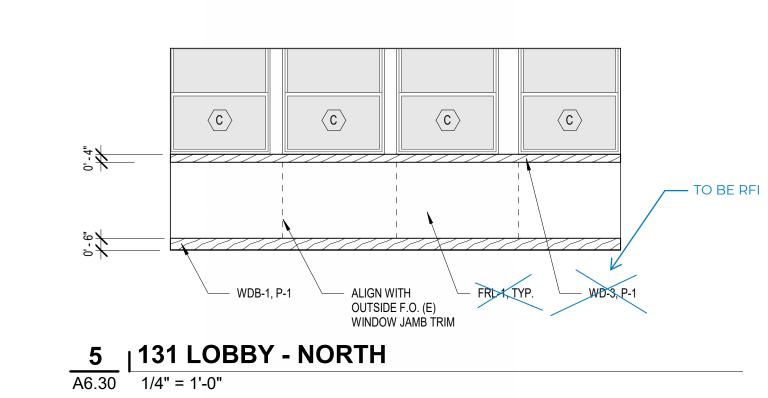
 RECESSED ELECTRIC
 WALL HEATER PER
 MECHANICAL WDB-1, P-2

3 | 100 VESTIBULE - SOUTH | 1/4" = 1'-0"

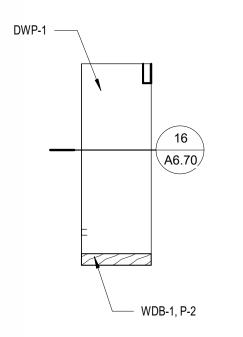
2 | 100 VESTIBULE - EAST | 1/4" = 1'-0"





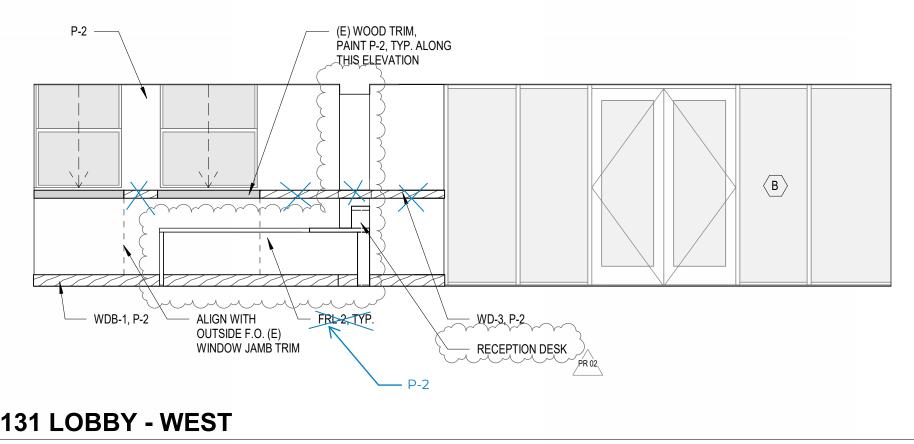


6 | 131 LOBBY - EAST | 1/4" = 1'-0"

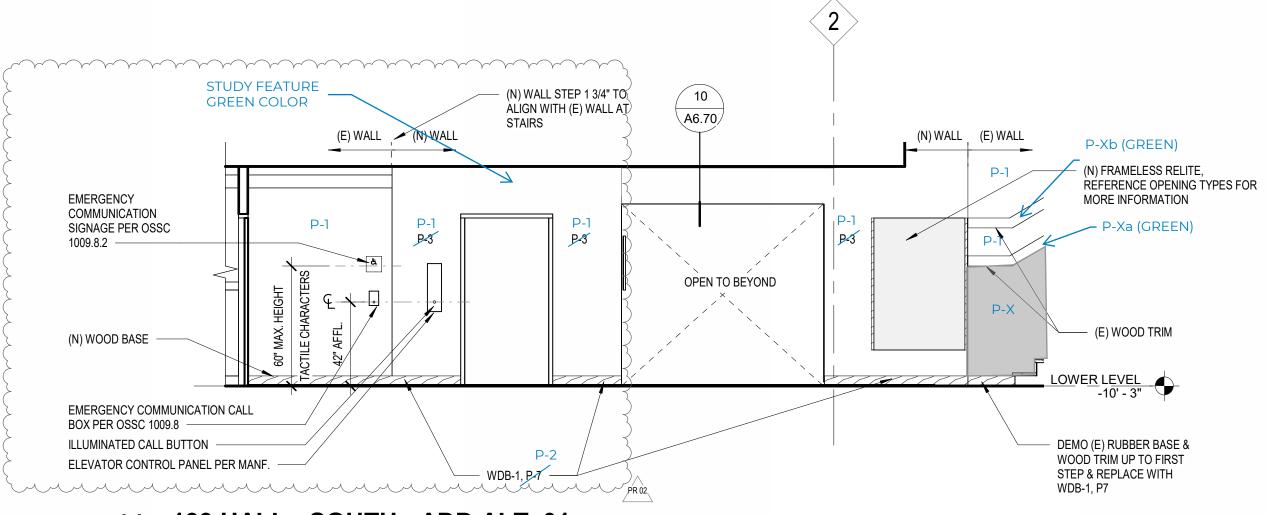


4 | 100 VESTIBULE - WEST | 1/4" = 1'-0"

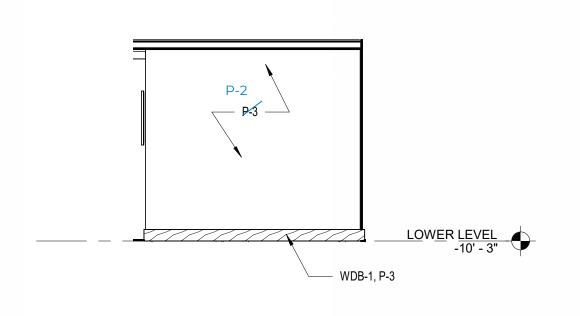
10 | 131 LOBBY - NORTH_RETURN | 1/4" = 1'-0"



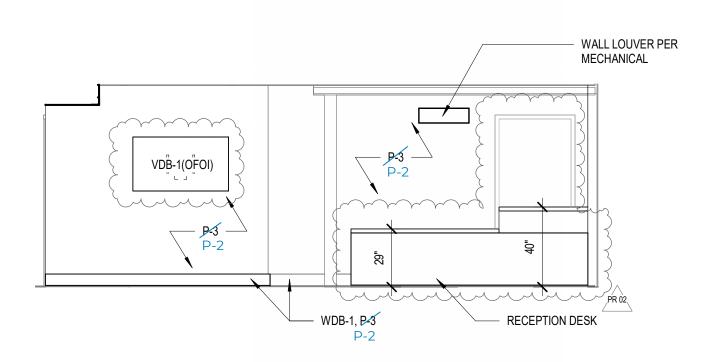
8 | 131 LOBBY - WEST | 1/4" = 1'-0"



14 | 133 HALL - SOUTH - ADD ALT. 01 | 1/4" = 1'-0"



13 | 131 LOBBY - EAST - ADD ALT. 01 | 1/4" = 1'-0"



12 | 131 LOBBY - SOUTH - ADD ALT. 01 | 1/4" = 1'-0"

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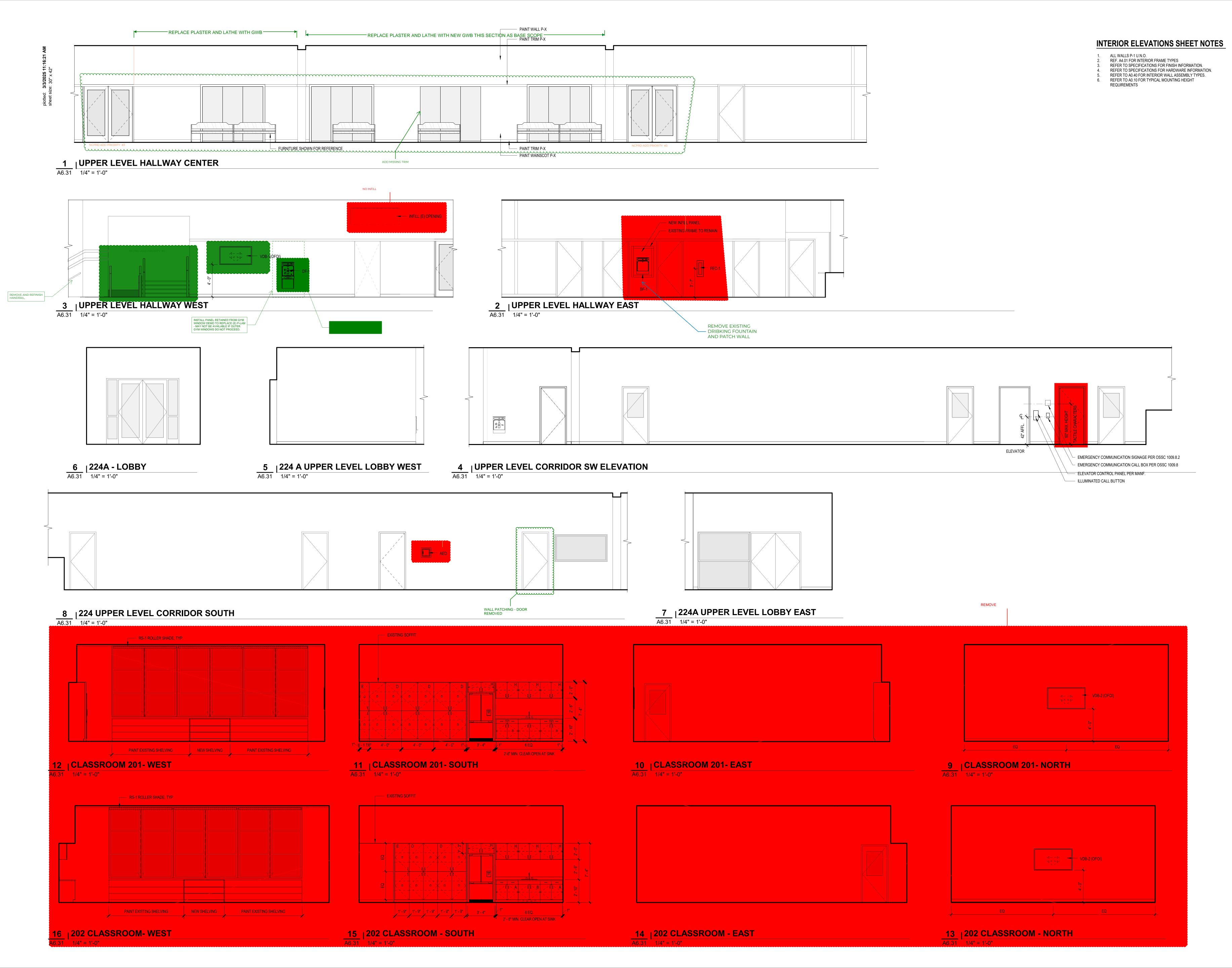
RFI 26 07/23/2024 01/14/2025 RFI 105 PR 02 02/17/2025

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9.14.2023 Sheet Title

INTERIOR ELEVATIONS

Sheet No. A6.30



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Date: 9.14.2023
Sheet Title

INTERIOR
ELEVATIONS
(T.I.)

A6.31

PR 02

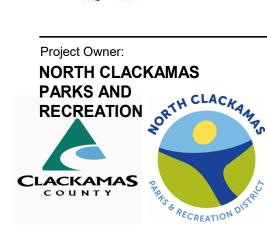
22 | 214 - BREAKROOM - WEST | 1/4" = 1'-0"

21 A6.32 1/4" = 1'-0"

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Status: PERMIT SET

Date: 9.14.2023

Sheet Title
INTERIOR
ELEVATIONS
(T.I.)

A6.32

PR02



- ALL WALLS P-1 U.N.O. REF. A4.01 FOR INTERIOR FRAME TYPES REFER TO SPECIFICATIONS FOR FINISH INFORMATION. REFER TO SPECIFICATIONS FOR HARDWARE INFORMATION. REFER TO A0.40 FOR INTERIOR WALL ASSEMBLY TYPES.
- REFER TO A0.10 FOR TYPICAL MOUNTING HEIGHT REQUIREMENTS

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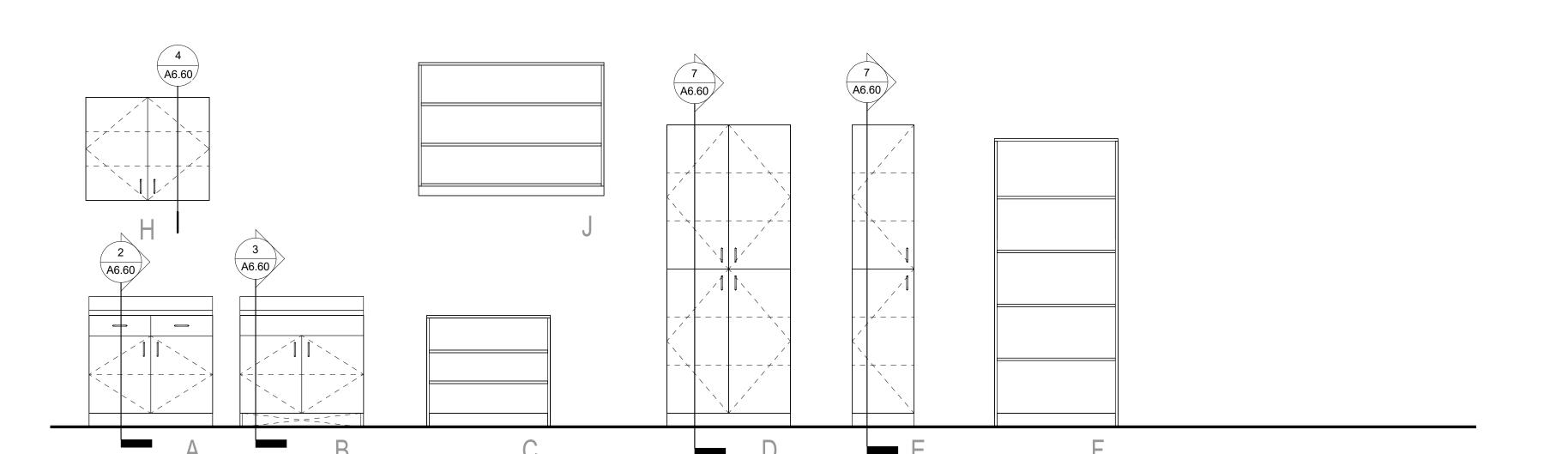
9.14.2023

Sheet Title **INTERIOR**

ELEVATIONS (T.I.) ALT-4

A6.33





— PAINTED GYPSUM BD. SOFFIT. WHERE INDICATED IN RCP

BACKSPLASH AS
 SPECIFIED, PROVIDE
 CLEAR CAULKING AT WALL

- UNDERMOUNT ADA SINK PER MECHANICAL

— SURF-1, QUARTZ COUNTER

- MARINE GRADE SUBSTRATE

REMOVEABLE PLUMBING

CABINETS

PROTECTION SCREEN, P-LAM

TO MATCH ADJACENT LOWER

 PROVIDED FINISED BACK PANEL AND BASE AS SCHEDULED

SHEET NOTES - CASEWORK

- 1. SEE INTERIOR ELEVATIONS AND CABINET CONFIGURATION TAGS FOR TYPICAL CABINET TYPE INFORMATION.
 NON-TYPICAL CASEWORK IS INDICATED ON INTERIOR
- ELEVATIONS. CASEWORK FINISHES INDICATED ON INTERIOR ELEVATIONS. PROVIDE BACKSPLASH AND BACKSPLASH RETURNS AT SIDE
- PROVIDE 1" FILLER PANEL AT PERPENDICULAR SIDE WALLS, AND 2" FILLER PANELS AT INSIDE CORNERS, UON.
- COORDINATE GROMMET LOCATIONS WITH OWNER/ARCHITECT. WALL FINISH TO CONTINUE BEHIND ALL CABINETS, COUNTERS, BRACKETS, SHELVING, AND ALL WALL MOUNTED ITEMS.
- FLOORING AND BASE TO BE CONTINUOUS UNDER AND BEHIND CABINETS, COUNTERS, AND ALL FLOOR MOUNTED ITEMS. 9. FIELD VERIFY ALL DIMENSIONS PRIOR TO FABRICATION.

BACKSPLASH TO MATCH COUNTER

FINISH, PROVIDE CLEAR CAULKING AT

FIXED APRON

CABINET FINISH AS

SCHEDULED

— OPEN TOE KICK

— PROVIDED FINISED BACK PANEL

AND BASE AS SCHEDULED

——— PULL

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Project Name: CONCORD COMMUNITY CENTER

Project Adress: 3811 SE Concord Road, Milwaukie, OR 97267

INTERIOR — ADJUSTABLE MELAMINE SHELVES TYP. CABINET FINISH AS SCHEDULED — 2" SPACED PRE-DRILLED HOLES FOR SHELF SUPPORT — BASE AS SCHEDULED, TYP. 2 | BASE CABINET W/ DRAWER | 1 1/2" = 1'-0" 2' - 0" UNO BACKSPLASH AS SPECIFIED, PROVIDE 1' - 11" UNO CLEAR CAULKING AT WALL SINK PER PLUMBING COUNTER FINISH AS SCHEDULED

MAINTAIN THE

//ACCESSIBLE

/APPROVED

CLEARANCE

6" MIN.

| ADA SINK COUNTER

6.60 1 1/2" = 1'-0"

//FRONT

 COUNTER FINISH AS SCHEDULED

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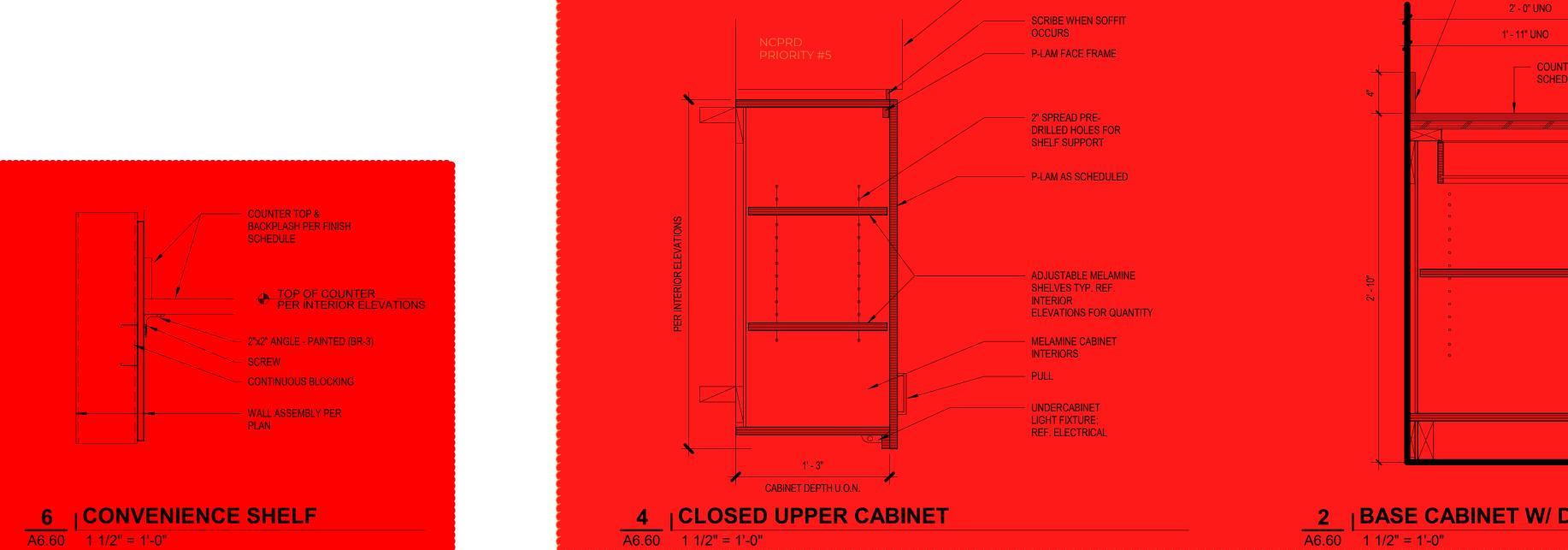
C PR 02 02/17/2025

PERMIT SET 9.14.2023 Sheet Title STANDARD CASEWORK

A6.60

4775-08





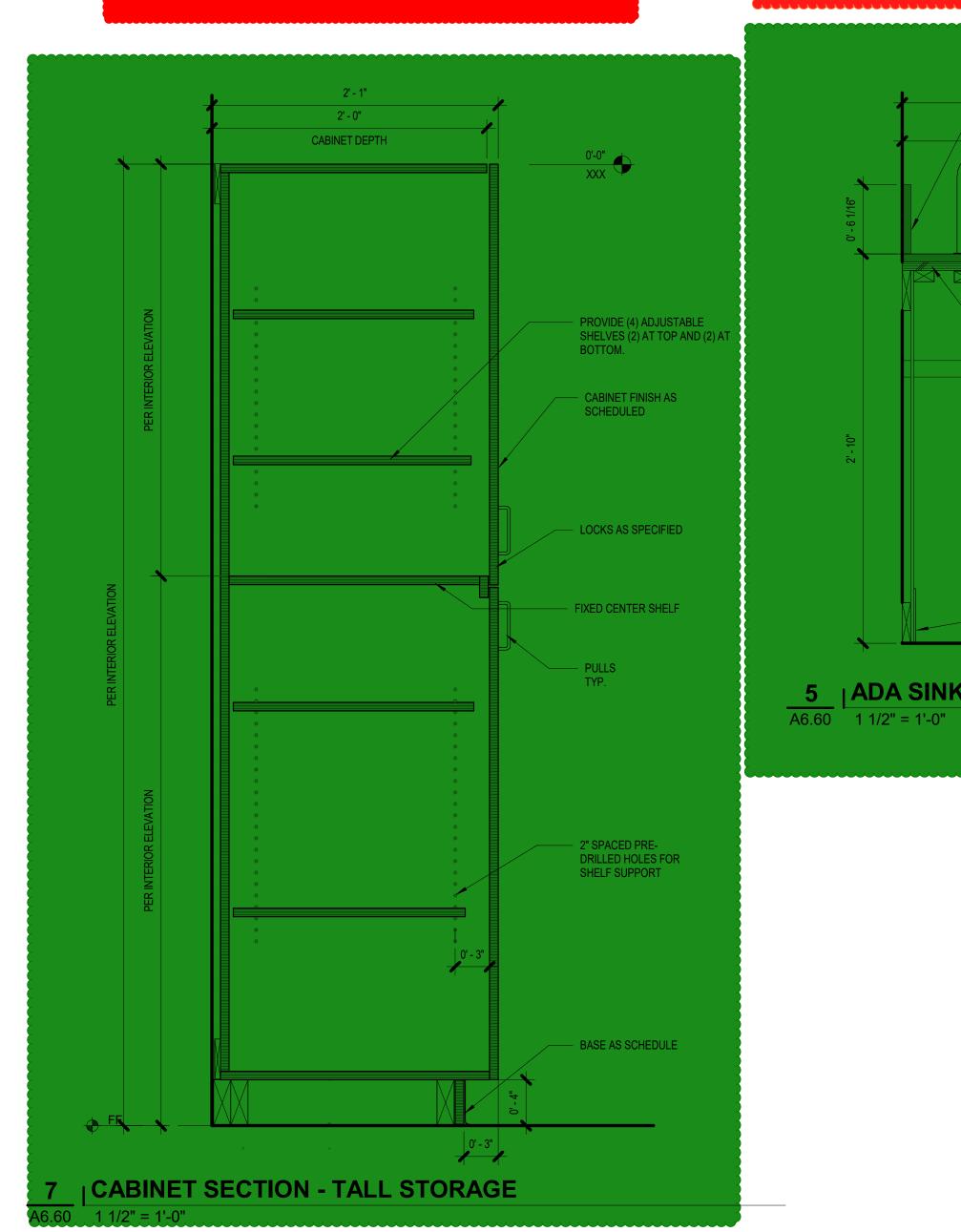
2' - 1" UNO

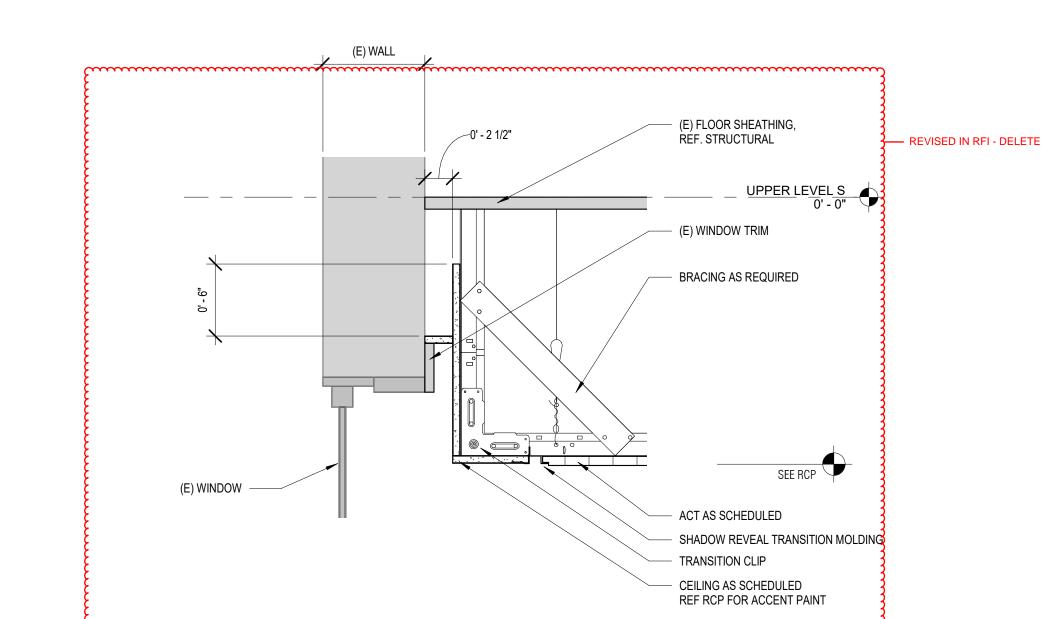
2' - 0" UNO

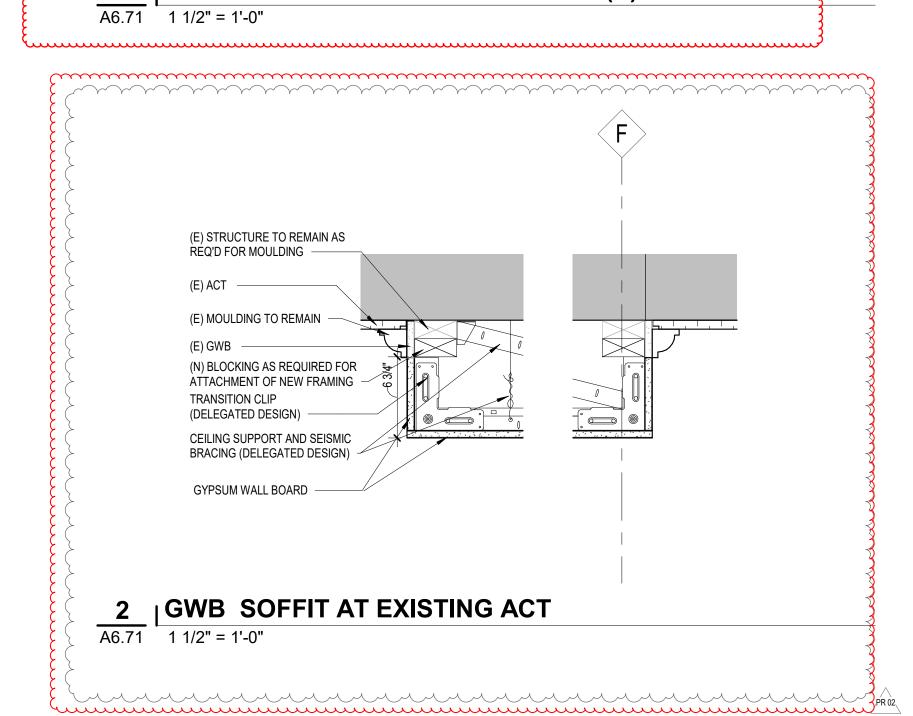
MAINTAIN THE

ACCESSIBLE FRONT APPROVED CLEARANCE

5 | ADA SINK COUNTER RR







| SECTION DETAIL - ACT CEILING TO (E) WINDOW

REMOVE SHEET

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JAMES O.
KANALAGE
POPILAND, OREGON



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No. Revision Date

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RFI 60.1 01/06/2025

Status: PERMIT SET

Date: 9.14.2023
Sheet Title

INTERIOR
DETAILS CEILING &
FINISH

A6.71

Job No.

waterfall edge

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MAKE SURE NO CORNERS -**CURVE SLIGHTLY** 6'-9 3/4"

4 RECEPTION DESK SIDE VIEW



A6.72 1 1/2" = 1'-0"







Rejuvenation West Moreland

Pendant with Fairview Shade



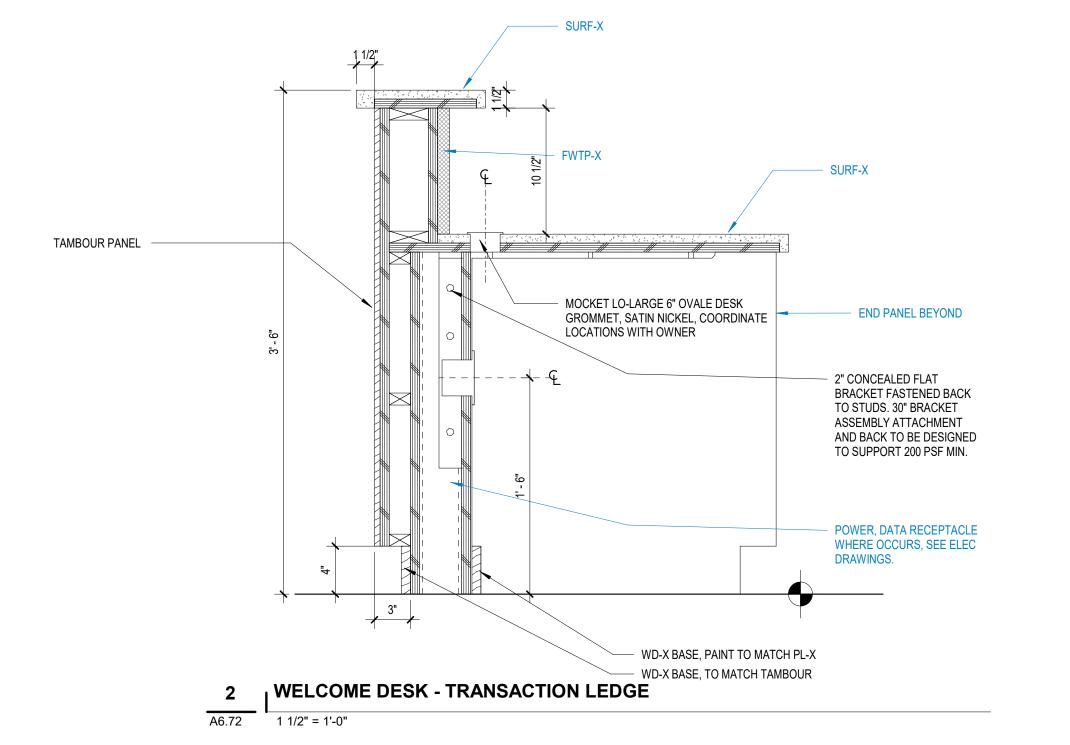
Solid White Oak Tambour panel

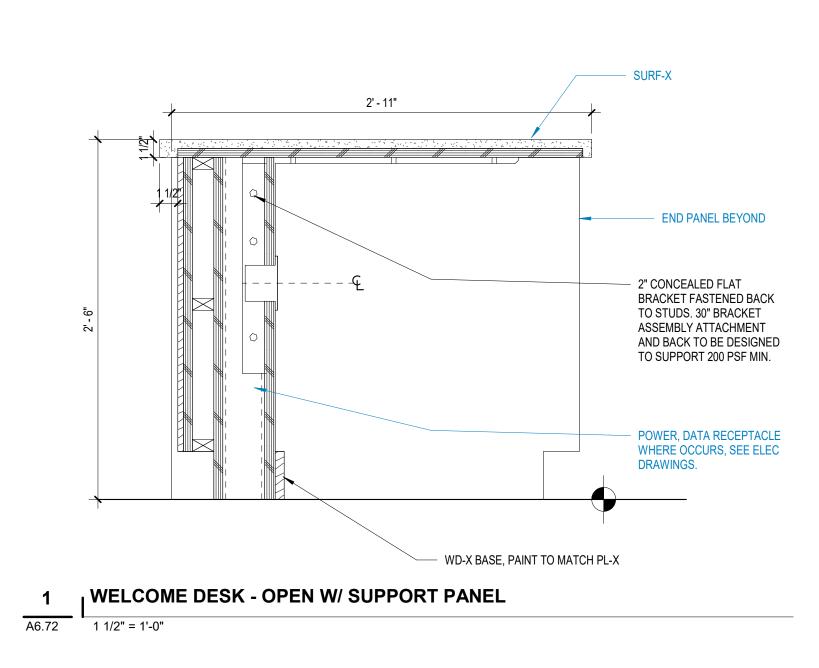




Grey Matters (P-2), Juniper shade and Lapitec Bianco Giulia Satin (countertop)

Burnished Antique for Pendant





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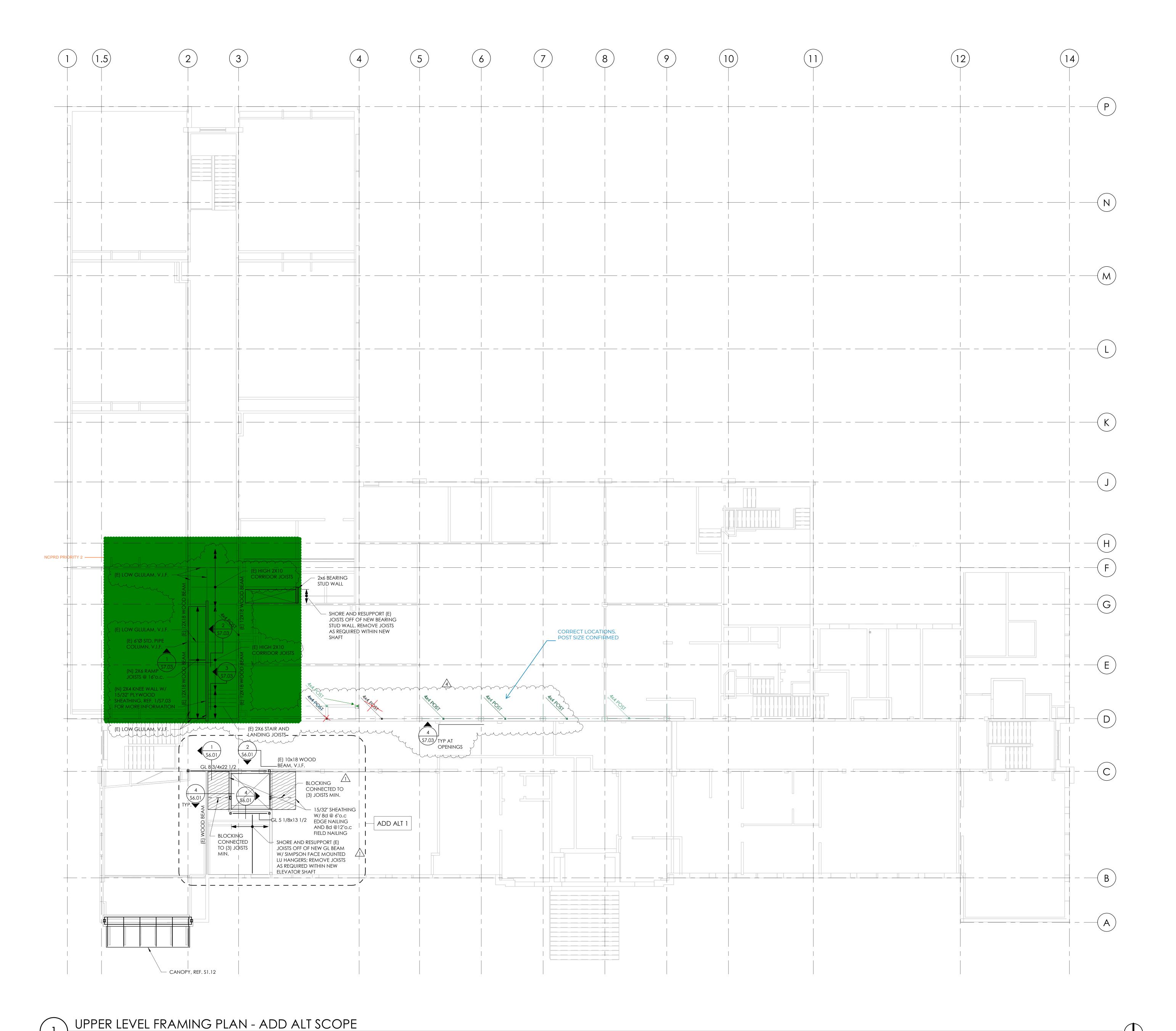
RFI 105 01/14/2025

02/17/2025

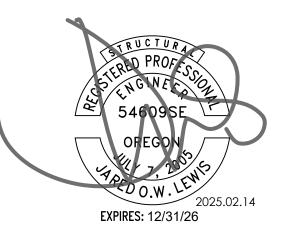
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Sheet Title INTERIOR DETAILS -CASEWORK

A6.72



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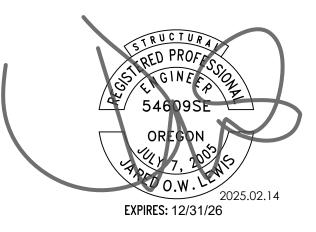
09.14.2023 Sheet Title **UPPER LEVEL**

FRAMING PLAN -ADD ALT SCOPE

S1.12A

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Sheet Title

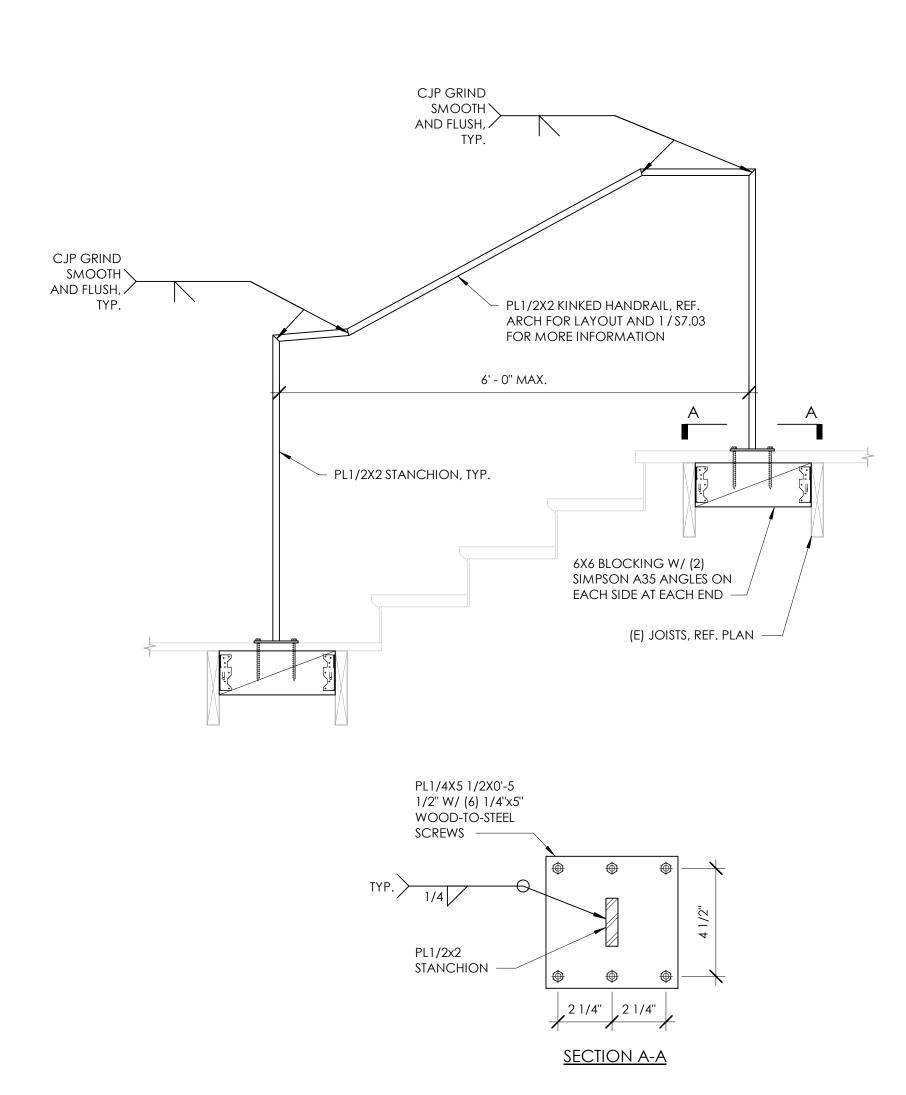
ATTIC FRAMING
PLAN - ADD ALT
SCOPE

Sheet No. **S1.13A**

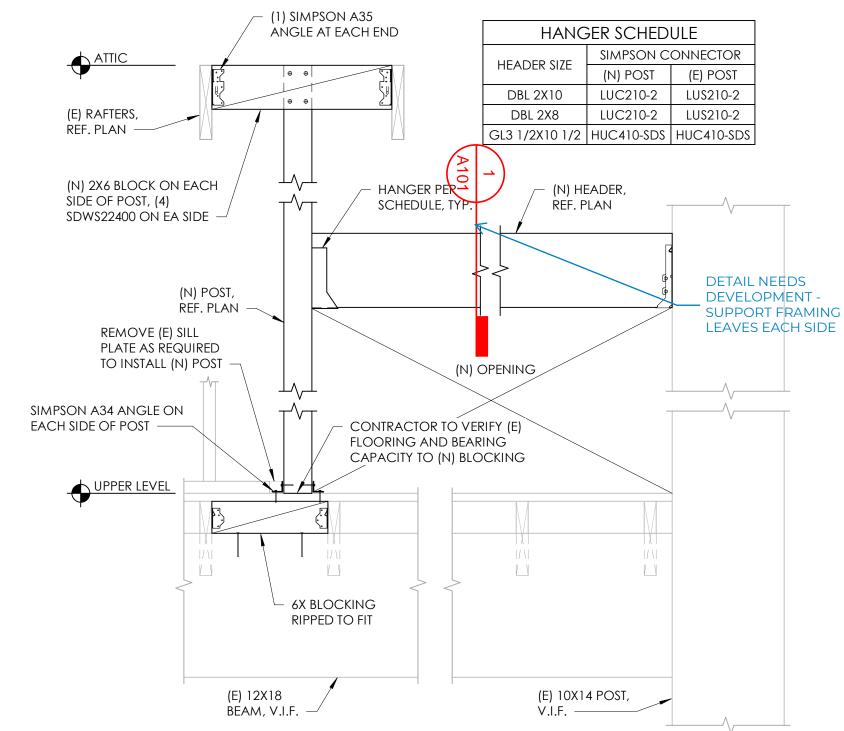
Job No. **4775-08**

1 ATTIC FRAMING PLAN - ADD ALT SCOPE

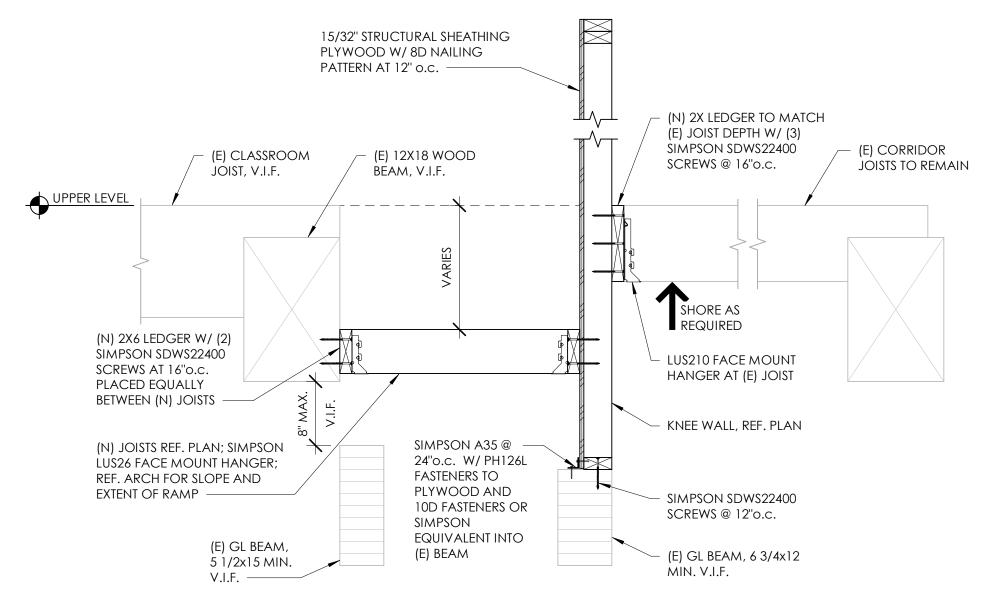
FULL SHEET CONFIRMED



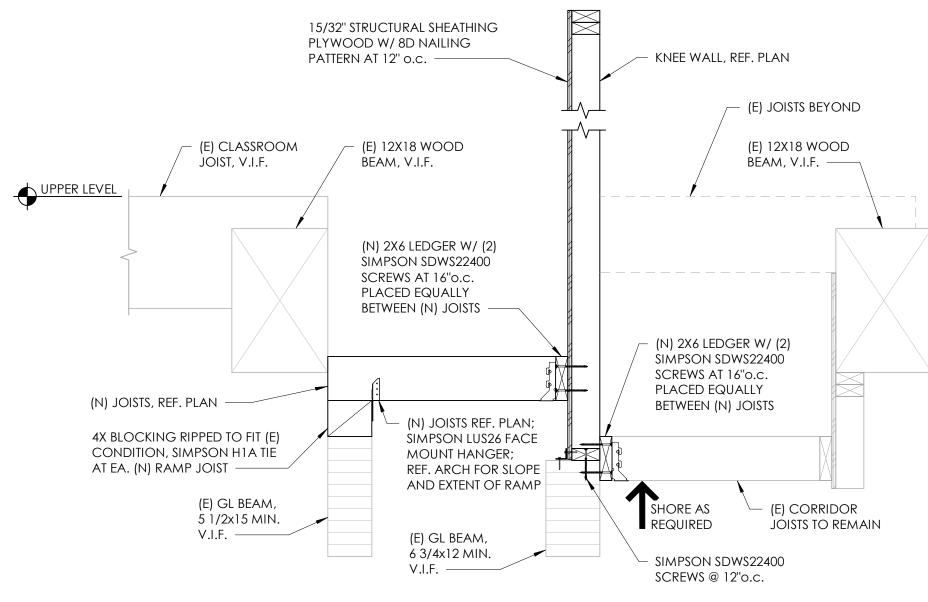
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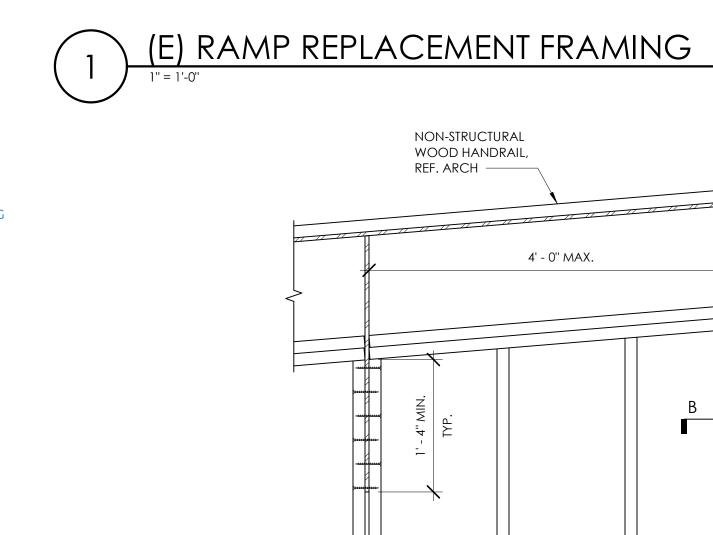
4 NEW OPENING FRAMING

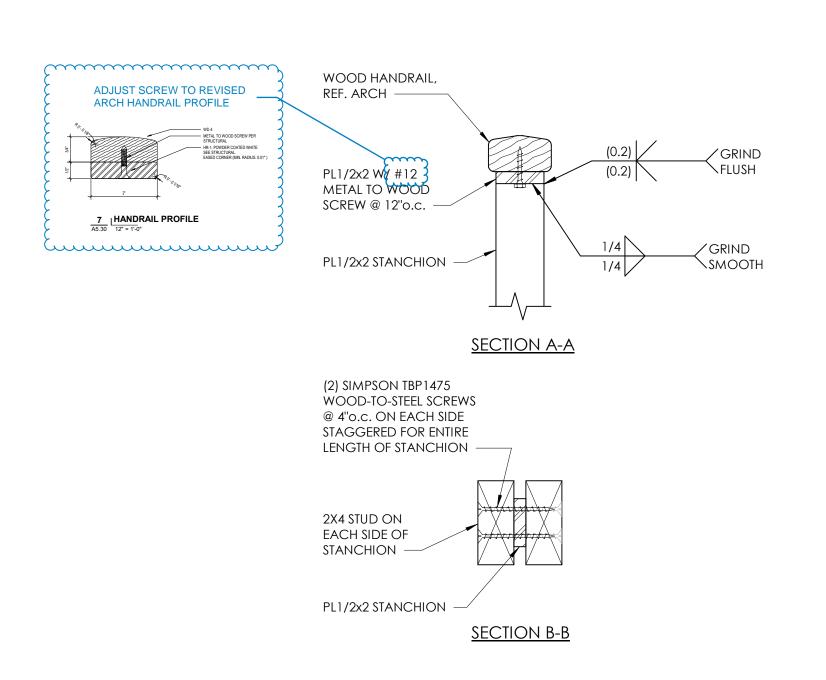


RAMP JOIST CONNECTING TO BEAM



RAMP JOIST CONNECTING TO GL BEAM

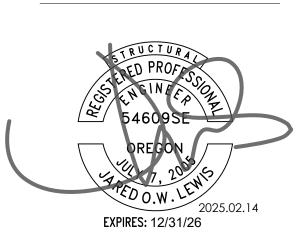




2 HANDRAIL SECTION

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Date: 09.14.2023

Sheet Title
WOOD DETAILS

WOOD DETAILS

Sheet No. **\$7.03**Job No.

Job No. **4775-08**

REVERT TO PREVIOUS

					AS	HRAE (62.1 - 20′	16 OUT	SID	E AI	R VENTII	LATION	SCHEDU	LE (ER\	/s)					
SYSTEM	ROOM NAME	OCCUPANCY CATEGORY	AZ AREA: (SQ. FT.)	MAX OCC. LOAD PER 1000 SQFT	(PEOPLE/ FIXTURE)	Pz ANTICIPATED OCC. LOAD (PEOPLE/ FIXTURE)	· · ·	Ra REQUIRED OUTSIDE AIR (CFM/SQ. FT.)	(CFM)	Ra*Az (CFM)	Vbz BREATHING ZONE OUTDOOR AIRFLOW (CFM)	Ez TABLE 6-2 ZONE AIR DISTRIBUTION EFFECTIVENESS	Voz REQUIRED ZONE OUTDOOR AIRFLOW (CFM)	VpZ DESIGN ZONE PRIMARY AIRFLOW (CFM)	Zp PRIMARY OUTDOOR AIR FRACTION	EV TABLE 6-3 SYSTEM VENTILATION EFFICIENCY	D SYSTEM OCCUPANT DIVERSITY	Vou UNCORRECTED OUTDOOR AIR INTAKE (CFM)	Vot AIR INTAKE MULTI ZONES: = Vou/Ev SINGLE ZONE: = Voz (CFM)	PROVIDED (CFM)*
	EVENT ROOM 127	Multiuse assembly	2,020	100	202	55	7.5	0.06	413	121	534	0.8	667	-	-	1.0		667	667	720
ERV-1	OFFICE 114	Office Spaces	116	E	1	1	F 0	0.06	F	0	1.4	0.0	47	100	0.17	0.0			667	720
	OFFICE 114 OFFICE 115	Office Spaces	146 162	5 5	1	1	5.0 5.0	0.06 0.06	5 5	9	14 15	0.8 0.8	17 18	100 115	0.17 0.16	0.9 0.9				
	OFFICE 116	Office Spaces	163	5	1	1	5.0	0.06	5	10	15	0.8	18	115	0.16	0.9				
	OFFICE 117	Office Spaces	222	5	1	1	5.0	0.06	5	13	18	0.8	23	200	0.11	1.0				
	OFFICE 118 OFFICE 119	Office Spaces Office Spaces	105 141	5	1	1	5.0 5.0	0.06 0.06	5 5	8	11 13	0.8 0.8	14 17	100 130	0.14 0.13	1.0 1.0				
	OFFICE 120	Office Spaces	541	5	3	3	5.0	0.06	15	32	47	0.8	59	500	0.12	1.0				
FCU-3	0700405.440		4.700				5.0	0.00		400	407		101	000	0.44	4.0	1.00	167	186	190
	STORAGE 113 OFFICE 121	Dry Storage Office Spaces	1,700 600	2 5	3	1	5.0 5.0	0.06 0.06	5 5	102 36	107 41	0.8 0.8	134 51	960 500	0.14 0.10	1.0 1.0				
FCU-4		- '														-	1.00	185	185	185
	OFFICE 129	Office Spaces	755	5	4	4	5.0	0.06	20	45	65	0.8	82	800	0.10	1.0				
FCU-5	OFFICE 128	Office Spaces	275	5	1	1	5.0	0.06	5	17	22	0.8	27	250	0.11	1.0	1.00	109	109	110
FCU-5	OFFICE 130	Office Spaces	802	5	4	4	5.0	0.06	20	48	68	0.8	85	750	0.11	1.0	1.00	100	100	110
	LOBBY 131	Lobbies	765	150	115	19	5.0	0.06	95	46	141	0.8	176	500	0.35	0.7				
FCU-6																	1.00	209	299	305
ERV-2								~~~	~~~	~~~		~~~~					·····		778	790 PR-02
(FITNESS CLASSROOM	Health club/aerobics room	1 1	40	66	30	20.0	0.06	600	99	699	0.8	874	-	- 7	-	-	874	874	910
	REC 103	Classrooms	793	25		20	10.0	بىرىرىر 0.12	200	95	205		360		Junion.				360	370
	REC 103 REC 104	Classrooms	793 801	35	28	20	10.0	0.12 0.12	200	95 96	295 296	0.8	369 370		_		-	369 370	369 370	370
	NCPRD MTG 105	Conference/Meeting	754	50	38	38	5.0	0.06	190	45	235	0.8	294	-	-	-	-	294	294	295
	NCPRD MTG 106	Conference/Meeting	805	50	40	40	5.0	0.06	200	48	248	0.8	310	-	-	-	-	310	310	315
	NCPRD MTG 107	Conference/Meeting	621	50	31	31	5.0	0.06	155	37	192	0.8	240	-	-	-	-	240	240	240
ERV-3																			2,458	2,500
	OFFICE 215 STORAGE 214	Office Spaces Dry Storage	556 177	5 2	3	3 0	5.0 5.0	0.06 0.06	15 0	33 11	48 11	0.8 0.8	60 13	900 120	0.07 0.11	1.0 1.0				
FCU-14	CONFERENCE 216	Conference/Meeting	648	50	32	ρ	5.0	0.06	40	39	79	0.8	99	1,020	0.10	1.0	1.00	74	74	75
FCU-15	CONFERENCE 210	Contended to the content of the conte	040	30	32	0	5.0	0.00	40	39	79	0.6	99	1,020	0.10	1.0	1.00	99	99	100
	OFFICE 129	Office Spaces	680	5	3	3	5.0	0.06	15	41	56	0.8	70	1,020	0.07	1.0				
FCU-16	OFFICE 220	Office Creece	225	5	1	4	5.0	0.00		4.4	40	0.0	22	225	0.40	4.0	1.00	70	70	70
	OFFICE 220 WORKROOM 218	Office Spaces Office Spaces	225 122	5	1	1	5.0 5.0	0.06 0.06	5 5	14 7	19 12	0.8 0.8	23 15	225 120	0.10 0.13	1.0 1.0				
	HALL 225	Corridors	1,000	0	0	0	0.0	0.06	0	60	60	0.8	75	295	0.25	0.8				
FCU-17	055105 000	0.00	050	_			5.0	0.00		45	00		05	050	0.07	4.0	1.00	91	114	115
	OFFICE 220 OFFICE 219	Office Spaces Office Spaces	250 171	5	1	1	5.0	0.06 0.06	5 5	15 10	20 15	0.8 0.8	25 19	350 270	0.07 0.07	1.0 1.0				
	OFFICE 83	Office Spaces	117	5	1	1	5.0	0.06	5	7	12	0.8	15	200	0.08	1.0				
	LOBBY 226	Corridors	250	0	0	0	0.0	0.06	0	15	15	8.0	19	200	0.09	1.0				
FCU-18	KITCHENETTE 222	Break Rooms	181	25	5	2	5.0	0.06	10	11	21	0.8	26	210	0.12	1.0	1.00	62	62	65
	CONFERENCE 223	Conference/Meeting	560	50	28	8	5.0	0.06	40	34	74	0.8	92	810	0.12	1.0				
FCU-19																	1.00	94	94	105
	CONFERENCE 223 STORAGE 108C	Conference/Meeting Dry Storage	560 215	50	28	8	5.0 5.0	0.06 0.06	40 0	34 13	74 13	0.8 0.8	92 16	550 90	0.17 0.18	0.9 0.9				
FCU-20	STORAGE 100C	Dry Storage	215	2	0	U	5.0	0.00	U	13	13	0.6	10	90	0.16	0.9	1.00	87	96	105
	OFFICE 200	Office Spaces	720	5	4	4	5.0	0.06	20	43	63	0.8	79	1,020	0.08	1.0				
FCU-21																	1.00	63	63	65
ERV-4																			672	700
	MULTIPURPOSE 201	Multiuse assembly	820	100	82	20	7.5	0.06	150	49	199	0.8	249	1,020	0.24	0.9				
FCU-22	NODDD MEETING DOOM OOT	Conformer "A "	740	50	07	05	F.0	0.00	405		400	0.0	040	000	0.04	0.0	1.00	249	277	350
	NCPRD MEETING ROOM 207 STORAGE 207A	Conference/Meeting Dry Storage	740 175	50 2	37 0	25 0	5.0 5.0	0.06 0.06	125 0	44 11	169 11	0.8 0.8	212 13	900 120	0.24 0.11	0.9 1.0				
FCU-28		., ₂ ge									. ,						1.00	180	200	350
																	_			
ERV-5	MULTIPURPOSE 202	Multiuse assembly	850	100	85	25	7.5	0.06	188	51	239	0.8	298	1,020	0.29	0.8			477	700
FCU-23	MIGELIII GINI GGE 202	Manage assembly	000	100		20	1.5	0.00	100	01	200	0.0	290	1,020	0.23	0.0	1.00	298	373	400
ERV-6	MULTIPURPOSE 204	Multiuse assembly	820	100	82	20	7.5	0.06	150	49	199	0.8	249	1,020	0.24	0.9			373	400
FCU-25	IVIOL I IFURFUSE 204	ічічінизе аззепіріў	o2U	100	02	20	ι.υ	0.00	130	49	199	0.0	249	1,020	0.24	0.8	1.00	249	277	350
	NCPRD MEETING ROOM 205	Conference/Meeting	820	50	41	25	5.0	0.06	125	49	174	0.8	218	900	0.24	0.9				
FCU-26																	1.00	174	194	350
ERV-7																			470	700
-114-1	MULTIPURPOSE 203	Multiuse assembly	765	100	77	20	7.5	0.06	150	46	196	0.8	245	1,020	0.24	0.9				
FCU-24		Confessor B	200	50	4.4	05	5.0	0.00	405	40	474	0.0	040	000	0.04	2.2	1.00	245	272	350
FCU-27	NCPRD MEETING ROOM 206	Conference/Meeting	820	50	41	25	5.0	0.06	125	49	174	0.8	218	900	0.24	0.9	1.00	174	194	350
. 55 21																				
ERV-8																			466	700

	ASHRAE 62	.1-2016 C)UTSIDE /	AIR VEN	ITILATI	ON SCH	HEDULE	(HP-1 &	HP-2)		
		Az	Rp	Ra			Pz	Vbz	EZ	Voz	
		NET	PEOPLE	AREA	DEFAULT			BREATHING	ZONE	ZONE	
		OCCUPIABLE	OUTDOOR AIR	OUTDOOR AIR	OCCUPANT	DEFAULT	ACTUAL	ZONE OUTDOOR	AIR	OUTDOOR	OSA
HVAC		FLOOR AREA	RATE	FLOW RATE	DENSITY	ZONE	ZONE	AIRFLOW	DISTRIBUTION	AIRFLOW	PROVIDED
UNIT	ROOM	(SF)	(CFM / PERSON)	(CFM/SQ FT)	(#/1000SF)	POPULATION	POPULATION	(CFM)	EFFECTIVENESS	(CFM)	(CFM)
HP-1	RECREATION 210	4,000	20.0	0.06	150	600	50	1.240	0.8	1,550	775
HP-2	RECREATION 210	4,000	20.0	0.00	150	000	50	1,240	0.0	1,550	775
	'	1	1			1	ı			TOTAL	1,550





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RECREATION DEFENDANCE:

RECREATION DE

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Project Adress:
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INTERFACE
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PROJECT 2022-1137
CONTACT Blake Reynolds

100 SW Main Street, Suite 1600 Portland, OR 97204 TEL 503.382.2266 www.interfaceengineering.com

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12 PR-02 02

Status: PERMIT SET

Date: 09.14.2023

Sheet Title
SCHEDULES MECHANICAL

M0.30

Job No.

opsis



GENERAL SHEET NOTES

A. ROUTE FCU REFRIGERANT LINES PER MANUFACTURER INSTRUCTIONS AND MINIMIZE BENDS WITHIN EXPOSED AREAS TO MAINTAIN CLEAN APPEARANCE. SUPPORT REFRIGERANT LINESETS HIGH ALONG CEILINGS TO MINIMIZE VISIBILITY.

○ SHEET KEYNOTES

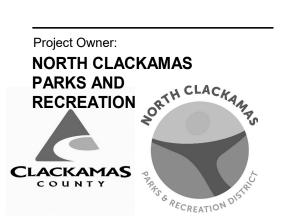
- CONNECT NEW 20x8 EXHAUST DUCT TO EXISTING WALL LOUVER.
- PROVIDE RETURN AIR SILENCER BEHIND TRANSFER GRILLES, TYPICAL. REFER TO GRD SCHEDULE.
- 3. PROVIDE DURABLE PLASTIC LINESET TRIM KIT INSTALLED ALONG THE CEILING AND ROUTED TO CASSETTE UNIT.

 PR-02

 4. ADD ALT 04: ADJUST AIRFLOWS CONNECTED TO ERV-3 AS INDICATED.

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12 PR-02

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Date: 09.14.2023

Sheet Title

LOWER LEVEL

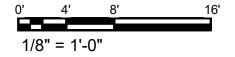
FLOOR PLAN
MECHANICAL

Sheet No.

M2.11

4775-08

LOWER LEVEL FLOOR PLAN - MECHANICAL







- CONNECT NEW RETURN DUCT TO EXISTING LOW RETURN GYM GRILLE.
- PROVIDE KEYED LOCKED PROTECTIVE METAL COVER FOR T-STAT AND CO2 SENSOR.
 ADJUST DIFFUSER FOR MOSTLY VERTICAL
- 3. ADJUST DIFFUSER FOR MOSTLY AIRFLOW.
 PR-02

 4. CAP CLOTHES DRYER VENT.





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12 PR-02

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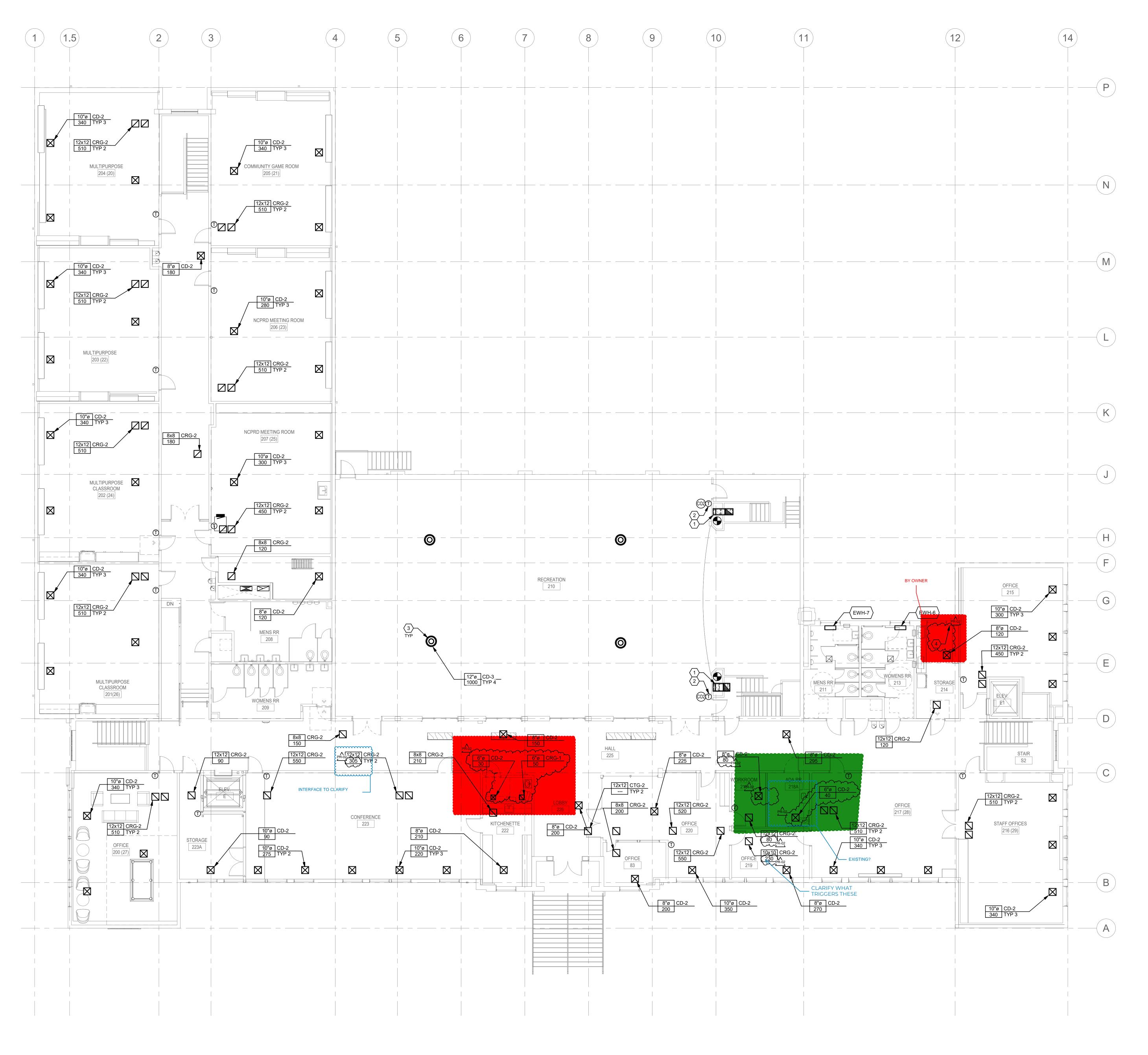
Date: **09.14.2023**

Sheet Title
UPPER LEVEL
FLOOR PLAN MECHANICAL

M2.12

Job No. **4775-08**

4₀¢



0' 4' 8' 16 1/8" = 1'-0"





B. MAINTAIN MINIMUM 80" HEAD HEIGHT WITH DUCT AND PIPE ROUTING ACROSS PRIMARY ACCESS AREAS. C. GRD SHOWN FOR REFERENCE. REFER TO M2.12 FOR TAGS.

○ SHEET KEYNOTES

HATCHED AREA REPRESENTS EQUIPMENT ACCESS WALKWAY.

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Project Name:

3811 SE Concord Road, Milwaukie, OR 97267



PROJECT 2022-1137 CONTACT Blake Reynolds 100 SW Main Street, Suite 1600 Portland, OR 97204 TEL 503.382.2266 www.interfaceengineering.com

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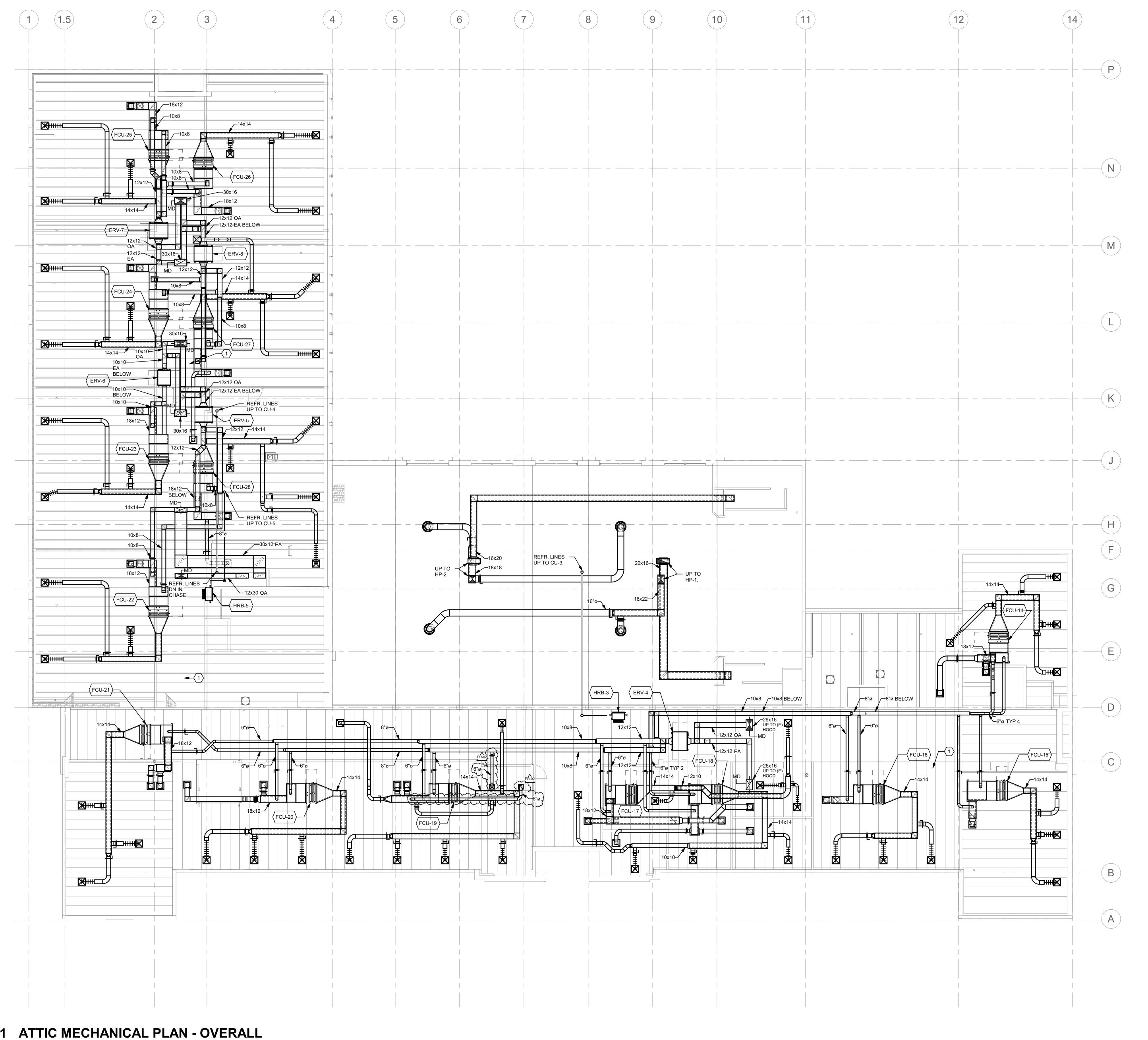
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09.14.2023

Sheet Title ATTIC LEVEL FLOOR PLAN -MECHANICAL

M2.13



WSFU WATER SUPPLY FIXTURE UNIT
W/ WITH

PLUMBING SYMBOL LIST

NOTE TO	o o stonedored consched that are discussed in the second conscience of		PLUMBIN	NG SYMBOL	. LIS I
NOTE: This is Abbreviat	s a standard symbol list and not all items listed may be used. tions	Control Syml	<u>ools</u>		
(A) AFF	ABANDON IN PLACE ABOVE FINISHED FLOOR	(AI)	ANALOG INPUT TO DDC PANEL	PEX	PEX MANIFOLD
AP AR	ACCESS PANEL ACID-RESISTANT	AI	ANALOG INPOT TO DDC PANEL		PIPE DROP
&	ACID-RESISTANT AND AQUASTAT, ARCHITECT, ANCHOR, AMPHERE	$\langle \! AO \! \rangle$	ANALOG OUTPUT FROM DDC PANEL		
A @ BFP	AQUASTAT, ARCHITECT, ANCHOR, AWPHERE AT BACKFLOW PREVENTER				PIPE RISE
BV	BALANCING VALVE	(P)	DIFFERENTIAL PRESSURE SENSOR	\$	PRESSURE GAUGE WITH COCK
BFF BF	BELOW FINISHED FLOOR BLIND FLANGE	(DI) _{CT}	DIGITAL INPUT CURRENT TRANSFORMER	 _	PRESSURE GAUGE WITH COCK
BTUH BLDG	BRITISH THERMAL UNITS PER HOUR BUILDING				PUMP
CO CO	CHECK VALVE CLEANOUT	DI	DIGITAL INPUT TO DDC PANEL	PD	
CW CD	COLD WATER CONDENSATE DRAIN	©	DIGITAL OUTPUT FROM DDC PANEL	© RD	ROOF DRAIN
CONT. CFH	CONTINUATION CUBIC FEET PER HOUR	(3)		©	SHOCK ABSORBER / WATER HAMMER ARRESTOR
CFS (X)	CUBIC FEET PER SECOND DEMOLISH	(DO) _{S/S}	DIGITAL OUTPUT START/STOP SIGNAL		
DW DET	DISHWASHER, DOMESTIC WATER DOMESTIC EXPANSION TANK	\Box	ELOW METER	- >	STRAINER
DCVA DN	DOUBLE CHECK VALVE ASSEMBLY DOWN	FM	FLOW METER	Ā ⁴•	T&P RELIEF VALVE WITH PIPE TO DRAIN
DS DSN	DOWNSPOUT DOWNSPOUT NOZZLE	T _E	LINE VOLTAGE THERMOSTAT		TO NELL VIEVE WITH IT LIE BIG WIT
D DFU	DRAIN DRAINAGE FIXTURE UNIT	General			TEE DOWN ON PIPE
DWV DF	DRAINAGE, WASTE AND VENT DRINKING FOUNTAIN		CONTINUATION		TEE LID ON DIDE
EWC EWH	ELECTRIC WATER COOLER ELECTRIC WATER HEATER	<u> </u>			TEE UP ON PIPE
ELECT ESV	ELECTRONIC SOLENOID VALVE	$\left(\begin{array}{c} x \\ x \end{array}\right)$	DETAIL NUMBER AND SHEET LOCATION	<u> </u>	TEMPERATURE SENSOR
EEW ESH	EMERGENCY EYE WASH EMERGENCY SHOWER				
(E) EJ	EXISTING EXPANSION JOINT	(XX-X)	EQUIPMENT IDENTIFICATION	<u> </u>	TEST PORT
FT FPS	FEET FEET PER SECOND	•	EXTENT OF DEMOLITION		THERMOMETER
FFE	FINISHED FLOOR ELEVATION			T	
F FC	FIRE, FAHRENHEIT FLEXIBLE CONNECTOR	X	FIXTURE TAG (LEVEL BELOW FIXTURE)	TP	TRAP PRIMER MANIFOLD
FL FCO	FLOOR FLOOR CLEANOUT	(xx)	FOOD SERVICE EQUIPMENT / CALCULATION TAG		TOTALOU DO AIN
FD FS	FLOOR DRAIN FLOOR SINK, FLOW SWITCH		TOOD OLIVING EQUILIBRIUM, GALOOD WIGHTING		TRENCH DRAIN
FV '	FLUSH VALVE FOOT, FEET	$\langle x \rangle$	KEYED NOTE	——I	UNION
(F) GPH	FUTURE GALLONS PER HOUR	, ,	DIDE DEL OW ODADE		
GPM GD	GALLONS PER MINUTE GARBAGE DISPOSER, GARAGE DRAIN		PIPE BELOW GRADE	<u> </u>	VACUUM RELIEF
GWH GW	GAS WATER HEATER GREASE WASTE	•	POINT OF CONNECTION	(Õ) VTR	VENT THROUGH ROOF
HD HP	HEAD, HUB DRAIN HEAT PUMP, HORSE POWER, HOUSEKEEPING PAD	۸ 🚓		9	
HVAC HZ	HEATING, VENTILATING AND AIR CONDITIONING HERTZ	T A XXX	SECTION NUMBER AND SHEET LOCATION	<u>wco</u>	WALL CLEANOUT
HB HW	HOSE BIBB HOT WATER	—×-×-	DEMOLISH	Piping Syster	<u>ms</u>
HWFU HWR	HOT WATER FIXTURE UNIT HOT WATER RETURN			— — 140°HW -	140%%d HOT WATER PIPING
IN, " IW	INCHES INDIRECT WASTE		EXISTING WORK		
INV KW	INVERT ELEVATION KILOWATT		NEW WORK	— 140°HWR-	140%%d HOT WATER RETURN PIPING
L MW	LAVATORY MAKE-UP WATER		NEW WORK	AV	ACID RESISTANT VENT PIPING
MAX HG	MAXIMUM MERCURY		PIPE OR CONDUIT BELOW GRADE		
MIN MX	MINIMUM MIXING VALVE	Piping Fitting	<u> 18</u>	AW	ACID RESISTANT WASTE ABOVE GRADE
MS MH	MOP SINK MOUNTING HEIGHT, MANHOLE	[] <u>AP</u>	ACCESS PANEL		ACID RESISTANT WASTE BELOW GRADE
(N) NPCW	NEW NON-POTABLE COLD WATER	نــــا		,	NOB NESIGNATI WHO I E SELOW ON USE
NOP N	NORMALLY OPEN NORTH	<u> </u>	AQUASTAT		COLD WATER PIPING
N/A NIC	NOT APPLICABLE NOT IN CONTRACT	⊘ AD	AREA DRAIN		COMPRESSED AIR RIPING
NTS	NOT TO SCALE	Ø		——-CA——-	COMPRESSED AIR PIPING
# NO.	NUMBER NUMBER		BLIND FLANGE	D	CONDENSATE / INDIRECT DRAIN PIPING
OD OFCI	OVERFLOW DRAIN, OUTSIDE DIAMETER OWNER FURNISHED, CONTRACTOR INSTALLED	_			
OFOI PH	OWNER FURNISHED, OWNER INSTALLED PHASE		CAP	———— DIR -	DE-IONIZED WATER RETURN
PLBG P	PLUMBING PLUMBING, PUMP	——• <u>сот</u>	CLEANOUT TO GRADE		DE-IONIZED WATER SUPPLY
POC PSI	POINT OF CONNECTION POUNDS PER SQUARE INCH				
PD PG	PRESSURE DROP, PLUMBING DEMOLITION, PUMPED DISCHARGE PRESSURE GAUGE	──	CONCENTRIC REDUCER	———DI———	DISTILLED WATER
PRV PS	PRESSURE REDUCING VALVE PRESSURE SWITCH	DSN	DOWNSPOUT NOZZLE	_	FIRE PROTECTION PIPING
QTY RWL	QUANTITY RAINWATER LEADER	7		 -	FIRE PROTECTION PIPING
RPBP RV	REDUCED PRESSURE BACKFLOW PREVENTER RELIEF VENT, RELIEF VALVE		ECCENTRIC REDUCER	GV	GAS VENT PIPING
(R) RPM	RELOCATE / RELOCATED LOCATION REVOLUTIONS PER MINUTE	<i>X</i> X	EXPANSION JOINT		
RD SAN	ROOF DRAIN SANITARY	<u> </u>	EXPANSION JOINT	 GW	GREASE WASTE ABOVE GRADE OR FINISHED FLOOR
SJ SB	SEISMIC JOINT SERVICE BOX		FLEXIBLE CONNECTION	— — GW— —	GREASE WASTE BELOW GRADE OR FINISHED FLOOR
SS SHT	SERVICE SINK SHEET				
SA SH	SHOCK ARRESTOR SHOWER	———Ф <u>FCO</u>	FLOOR CLEANOUT		HOT WATER PIPING
SOV S, SK	SHUT OFF VALVE SINK	⊕ <u>FD</u>	FLOOR DRAIN		HOT WATER RETURN PIPING
SF SD	SQUARE FEET STORM DRAIN				THE TWATER NET ONLY IT INC
SP	SUMP PUMP, STATIC PRESSURE TEMPERATURE	⊠ FS	FLOOR SINK	———IR———	IRRIGATION
TEMP T&P	TEMPERATURE AND PRESSURE		FLOW DIRECTION		
T TP	TEMPERATURE, THERMOMETER TRAP PRIMER, TOTAL PRESSURE			2#G ———	NATURAL GAS PIPING, 2 LB
TD TYP	TRENCH DRAIN TYPICAL	F	FLOW SWITCH	——G——-	NATURAL GAS PIPING, 7" WC PRESSURE
U, UR V	URINAL VACUUM, VENT, VOLT				
VFD VS	VARIABLE FREQUENCY DRIVE VENT STACK	 	HOSE BIBB / WALL HYDRANT	———— NP —	NON-POTABLE COLD WATER PIPING
VTR WCO	VENT THRU ROOF WALL CLEANOUT	⊙ ^{HD}	HUB DRAIN	ND _	NON-POTABLE HOT WATER PIPING
WB W	WASHER BOX WASTE	-		- INF	_
WS WC	WASTE STACK WATER COLUMN	M	METER	OD	OVERFLOW DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR
WC WHA	WATER COLUMN, WATER CLOSET WATER HAMMER ARRESTOR	⊚ ^{OD}	OVERFLOW ROOF DRAIN		PLIMPED DISCHARGE
WH WSFU	WATER HEATER, WALL HYDRANT WATER SUPPLY FIXTURE UNIT			——PD——	PUMPED DISCHARGE

------ R/O ------ REVERSE OSMOSIS WATER ----- SANITARY VENT PIPING SANITARY WASTE OR SOIL PIPING ABOVE GRADE OR FINISHED FLOOR SANITARY WASTE OR SOIL PIPING BELOW GRADE OR FINISHED FLOOR —————SHWR· SOLAR HOT WATER RETURN SD STORM DRAIN PIPING ABOVE GRADE OR FINISHED FLOOR — ■ SD — ■ STORM DRAIN PIPING BELOW GRADE OR FINISHED FLOOR TEMPERED WATER PIPING TP TRAP PRIMER PIPING <u>Valves</u> BACKFLOW PREVENTER BACKWATER VALVE X GPM BALANCING VALVE ———— CHECK VALVE EARTHQUAKE GAS VALVE ELECTRONIC SOLENOID VALVE ——

GLOBE VALVE ─────── HOSE END DRAIN VALVE -----
■ NATURAL GAS PIPING CONNECTION ASSEMBLY PRESSURE REDUCING VALVE ──────── SHUTOFF VALVE, GENERAL



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P0.20 SCHEDULES - PLUMBING

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- PD2.12 UPPER LEVEL FLOOR DEMOLITION PLAN PLUMBING
- P2.11 LOWER LEVEL FLOOR PLAN PLUMBING
- P2.12 UPPER LEVEL FLOOR PLAN PLUMBING P2.13 ROOF PLAN - PLUMBING
- P5.10 DETAILS PLUMBING

NOTES -**PLUMBING**

SYMBOL LIST

AND GENERAL

Sheet Title

Sheet No. P0.10

4775-08

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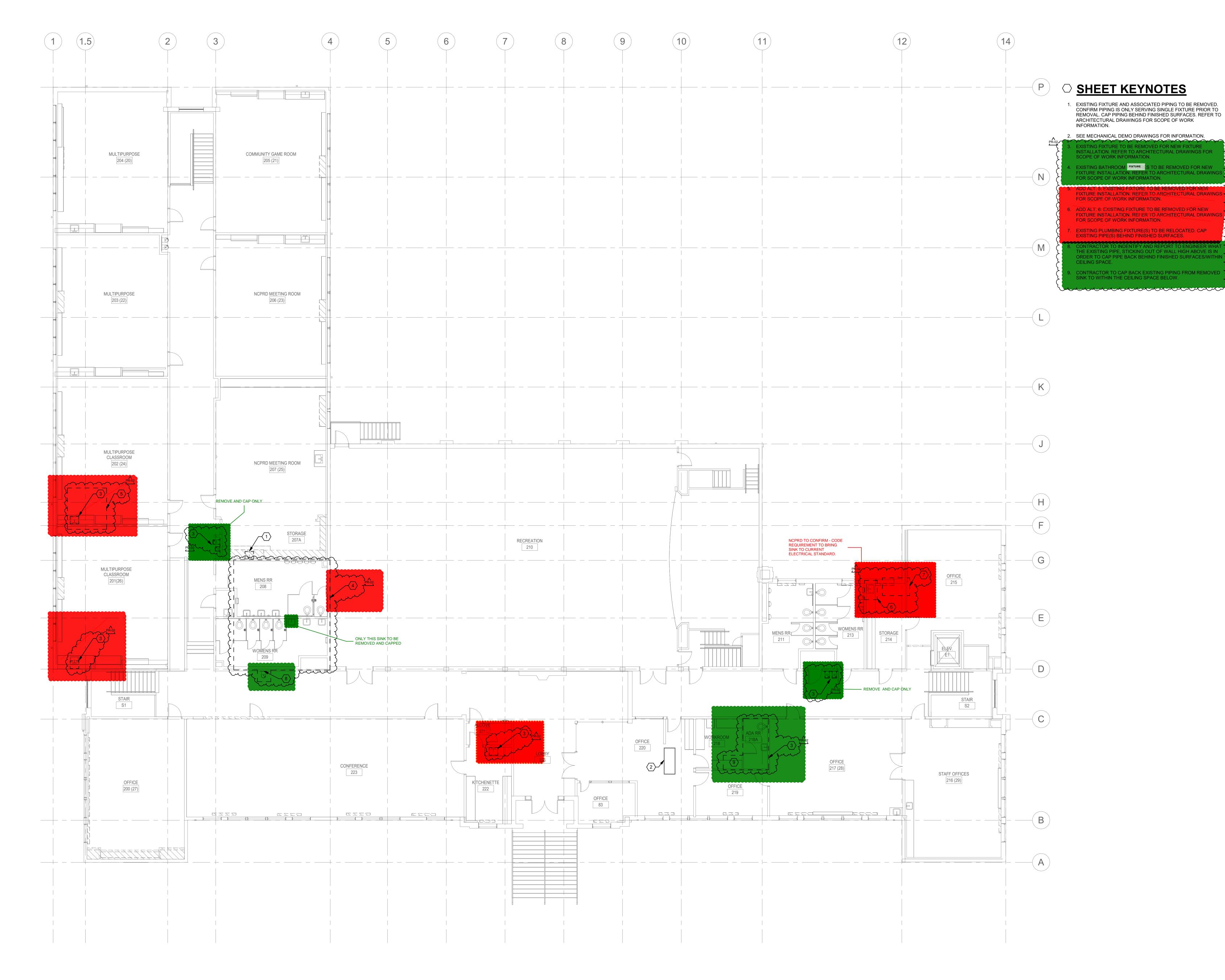
09.14.2023 Sheet Title **LOWER LEVEL FLOOR DEMOLITION**

PLAN -**PLUMBING**

PD2.11







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Sheet Title **UPPER LEVEL FLOOR DEMOLITION** PLAN -

PLUMBING

PD2.12

4775-08

UPPER LEVEL DEMO PLUMBING PLAN

0' 4' 8' 16' 1/8" = 1'-0"

plotted: **2/13/2025 3:56:10 l** sheet size: 30" x 42"

V/A 4D C :	ENTERS TO SE	DECODIDE: O	1455	i e	SIS OF DESIGN	3.47		NNECTION	1041	NOTES
YMBOL BF-1	FIXTURE TYPE BOTTLE FILLER	DESCRIPTION BOTTLE FILLING STATION,	MFR ELKAY	MODEL LBWDC00WHC	ACCESSORIES	W 1-1/2"	V 1-1/2"	CW 1/2"	HW 	NOTES
DF-1	DRINKING FOUNTAIN	NON-REFRIGERATED, FILTERED BOTTLE FILLING STATION AND VERSATILE BI-LEVEL ADA COOLER, FILTERED, REFRIGERATED, VANDAL RESISTANT."	ELKAY	LZSTL8WS		1-1/2"	1-1/2"	1/2"	-	VERIFY RIGHT OR LEFT HAND LOW BOWL CONFIGURATION
HB-2	HOSE BIBB (ROOF)	ROOF, NON-FREEZE, ANTI-SIPHON, AUTOMATIC DRAINING, DOUBLE CHECK BACKFLOW PREVENTER, LEAD FREE	ZURN	Z1388XL				3/4"		
L-1	LAVATORY	WALL MOUNTED, VITREOUS CHINA, 3-HOLE PUNCH, 4-INCH CENTERS, FRONT OVERFLOW, WHITE	AMERICAN STANDARD	355.012	FAUCET (SENSOR): SLOAN ETF-600 BDT W/ ETF-233 TRANSFORMER	1-1/2"	1-1/2"	1/2"		PROVIDE POINT OF USE LAVATORY MIXING VALVE. SEE PLUMBING DEVICE SCHEDULE.
L-2	LAVATORY	UNDERMOUNT, VITREOUS CHINA, SQUARE, FRONT OVERFLOW, WHITE	AMERICAN STANDARD	0614.000	FAUCET (SENSOR): SLOAN ETF-600 BDT W/ ETF-233 TRANSFORMER	1-1/2"	1-1/2"	1/2"	1/2"	PROVIDE POINT OF USE LAVATORY MIXING VALVE. SEE PLUMBING DEVICE SCHEDULE.
OB-1	COLD WATER OUTLET BOX	ABS BOX/FRAME, NO-LEAD VALVES WITH WATER HAMMER ARRESTORS	SIOUX CHIEF	696-G1010MF				1/2"		
S-1	SINK	COUNTERTOP, SINGLE BOWL, 18 GAUGE STAINLESS STEEL, 31-INCHES X 22-INCHES X 7-5/8-INCHES DEEP, 36-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH	ELKAY	LR3122-3	KITCHEN FAUCET (SINGLE LEVER HANDLE): CHICAGO 2300-ABCP SERIES, LEAD FREE	2"	1-1/2"	1/2"	1/2"	ADA SIDE APPROACH ONLY.
S-2	SINK	COUNTERTOP, SINGLE BOWL, 18 GAUGE STAINLESS STEEL, 15-INCHES X 17-1/2-INCHES X 6-1/2-INCHES DEEP, 18-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH, BARRIER FREE	ELKAY	LRAD1517-3	FAUCET (8-INCH GOOSENECK WRISTBLADE): CHICAGO 201-AGN8AE36-317ABCP	2"	1-1/2"	1/2"	1/2"	
S-3	CLASSROOM SINK	COUNTERTOP, SINGLE BOWL, 20 GAUGE STAINLESS STFEL, 25-INCHES X 17-INCHES X 6-1/2-INCHES DEEP, 30-INCH MINIMUM CABINET SIZE, 3-HOLE PUNCH, BARRIER FREE	ELKAY	CDKAD251765C	INCLUDED WITH SINK: FAUCET (SINGLE LEVER HANDLE): ELKAY LKD208513LC, DRAIN: ELKAY LK35, BUBBLER: ELKAY LK1141A	2"	1-1/2"	1/2"	1/2"	
<u>UR-1</u>	URINAL	WALL MOUNTED, VITREOUS CHINA, TOP SPUD, FLUSHOMETER, BARRIER FREE MOUNTING HEIGHT	AMERICAN	6590.001	FLUSH VALVE (HARD WIRED - 0.5 GPF, DIAPHRAGM): SLOAN 186-0.5	2"	1-1/2"	3/4"		
UR-2	URINAL	WALL MOUNTED, VITREOUS CHINA, TOP SPUD, FLUSHOMETER, STANDARD MOUNTING HEIGHT	AMERICAN STANDARD	6590.001	FLUSH VALVE (HARD WIRED - 0.5 GPF, DIAPHRAGM): SLOAN 186-0.5	2"	1-1/2"	3/4"		
WC-1	WATER CLOSET	FLOOR MOUNTED, VITREOUS CHINA, TOP SPUD, FLUSHOMETER, BARRIER FREE HEIGHT	AMERICAN STANDARD	MADERA 2857.128	FLUSH VALVE (HARD WIRED, TRUE MECHANICAL OVERRIDE - 1.28 GPF, DIAPHRAGM): SLOAN 111-1.28 ES-S TMO SEAT (BARRIER FREE, COMMERCIAL WEIGHT, EXTRA HEAVY-DUTY SOLID PLASTIC WITH STAINLESS STEEL CHECK HINGE): BEMIS 1655SSC-000	4"	2"	1-1/4"		
WC-2	WATER CLOSET	FLOOR MOUNTED, VITREOUS CHINA, TOP SPUD, FLUSHOMETER, STANDARD HEIGHT	AMERICAN STANDARD	MADERA 2234.001	FLUSH VALVE (HARD WIRED, TRUE MECHANICAL OVERRIDE - 1.28 GPF, DIAPHRAGM): SLOAN 111-1.28 ES-S TMO SEAT (COMMERCIAL WEIGHT, HEAVY-DUTY SOLID PLASTIC WITH STAINLESS STEEL CHECK HINGE): BEMIS 2155SSC-000	4"	2"	1-1/4"	-	

		PLUN	MBING	DEVICE	S SCHEDULE										
	BASIS OF DESIGN CONNECTION														
SYMBOL	FIXTURE TYPE	DESCRIPTION	MFR	MODEL	ACCESSORIES	W	V	CW	HW	NOTES					
LMV-1		THERMOSTATIC MIXING VALVE, ASSE 1070 COMPLIANT, INTEGRAL CHECK VALVES, LEAD FREE: WATTS LFMMV	WATTS	LFMMV				1/2"	1/2"						
NOTES:						•									





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12 PR-02

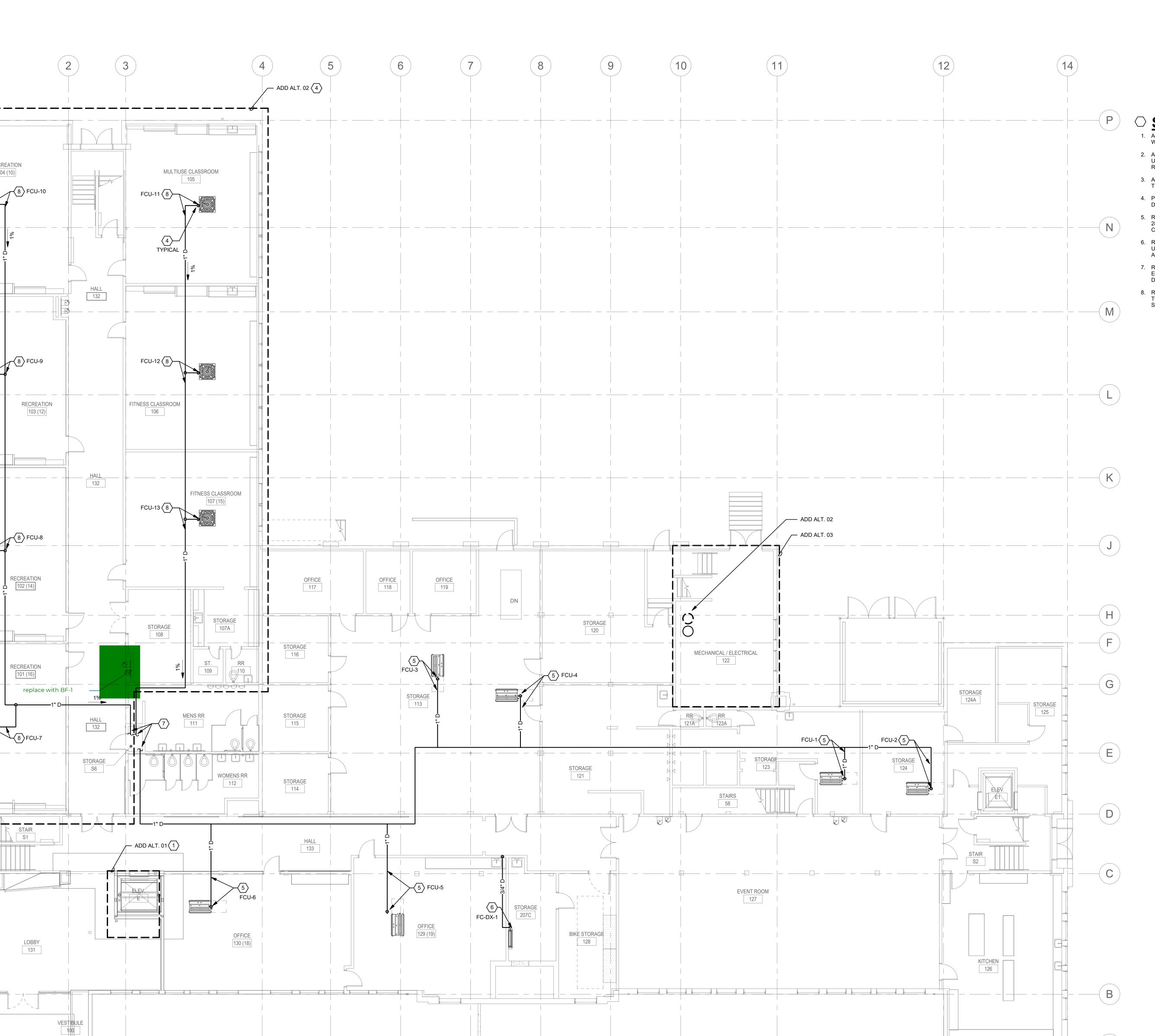
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Sheet Title
SCHEDULES PLUMBING

Sheet No. PR-02 PR-02

RECREATION





○ SHEET KEYNOTES

1. ADD ALT. 01: INCLUDE ELEVATOR SUMP PUMP WITH COVER. HIGH WATER ALARM AND PUMP CONTROL WITH REPORTING TO BAS. 2. ADD ALT. 2: REMOVE EXISTING GAS WATER HEATER AND CAP ALL UNUSED PIPING. PROVIDE NEW ELECTRIC WATER HEATER AND RECIRCULATION PUMP. SEE PLUMBING SCHEDULES ON P5.10.

3. ADD ALT. 3: DEMO ALL EXISTING UNUSED PIPING AND DEVICES IN THE MECHANICAL ROOM.

4. PROVIDE CONDENSATE TRAPS ON HVAC UNITS. REFER TO DETAIL 2/P5.10.

5. ROUTE 1" PUMPED CONDENSATE FROM MECHANICAL UNIT UP TO 28" LIFT, PER PUMP SPECIFICATION. EXTEND PUMPED CONDESNATE PIPE AS SHOWN TO DISCHARGE AT MOP SINK.

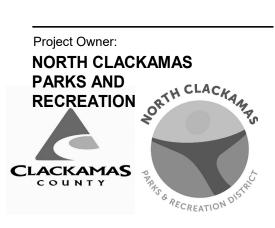
6. ROUTE 3/4" PUMPED CONDENSATE FROM MECHANICAL UNIT TO UNDERSIDE OF STRUCTURE. EXTEND TO SINK WITHIN OFFICE 129 AND CONNECT TO TAILPIECE PER DETAIL 3/P5.10.

7. ROUTE 1" CONDENSATE PIPES DOWN IN WALL, INDEPENDENT OF EACHOTHER. EXTEND OUT OF WALL WITH TURNDOWN TO DISCHARGE AT EXISTING MOP SINK.

8. ROUTE 1" PUMPED CONDENSATE FROM MECHANICAL UNIT UP TO 28" LIFT, PER PUMP SPECIFICATION. EXTEND PIPE AT 1% SLOPE, THEN CONNECT TO TOP OF 1" SLOPED MAIN.

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Sheet Title **LOWER LEVEL**

FLOOR PLAN -PLUMBING

P2.11

4775-08

LOWER LEVEL PLUMBING PLAN

0' 4' 8' 16 1/8" = 1'-0"

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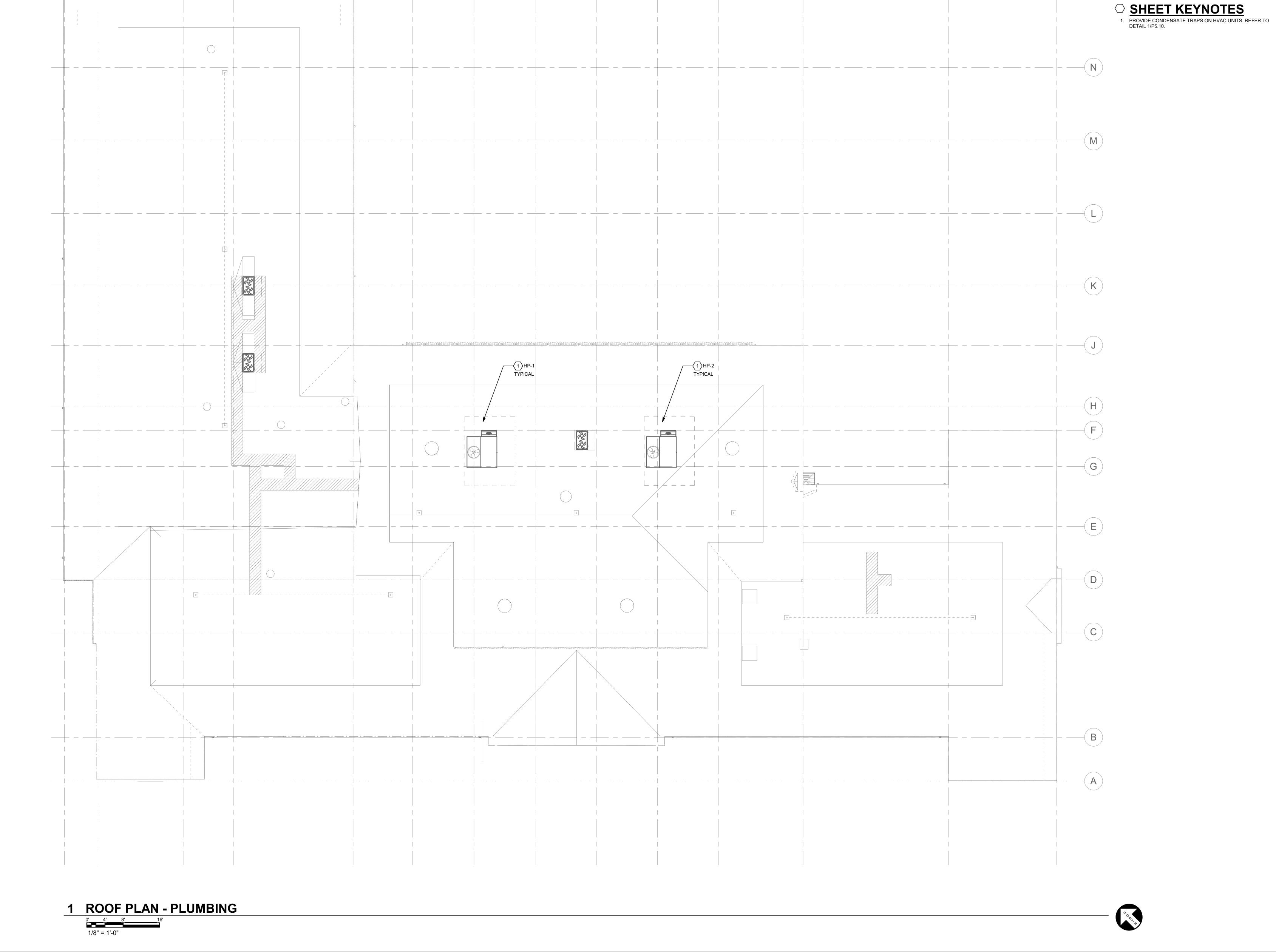
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Sheet Title
ROOF PLAN PLUMBING

P2.13

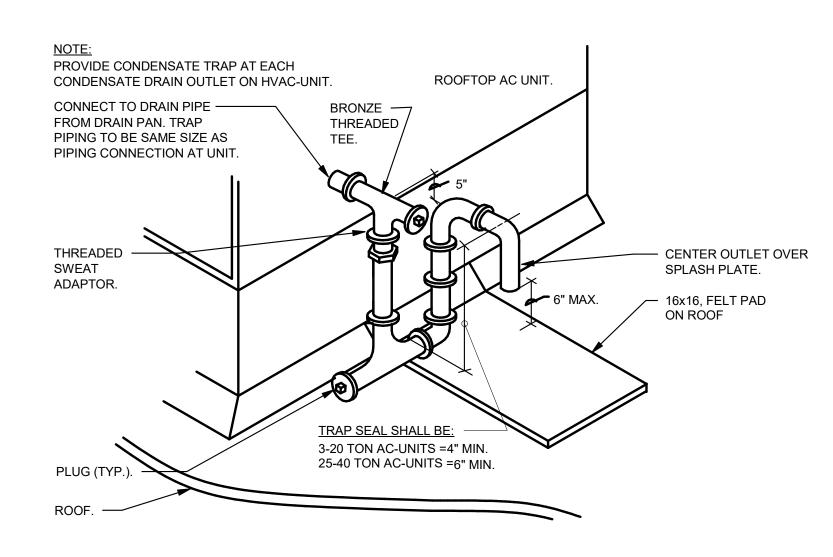
Job No. **4775-08**



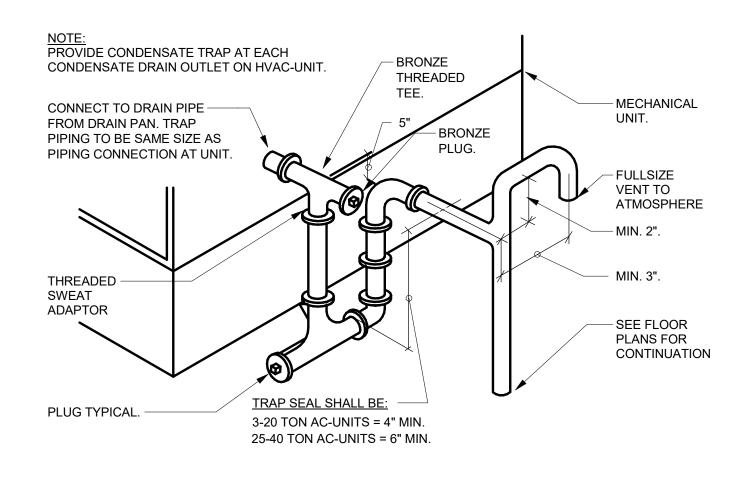
			WAT	ER HE	EATER	SCH	EDULE	=				
			BASIS OF DES	SIGN	TANK	GAS DATA		ELECT	RICAL			
					CAPACITY	INPUT						
SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	MFR	MODEL	(GALLONS)	(MBH)	VOLTS	PH	AMPS	KW	COMMENTS	
EWH-1	ELECTRIC WATER HEATER	MECHANICAL/ELECTRICAL 122	AO SMITH	DEN-120	120	N/A	208	3		12KW	6 KW PER ELEMENT, SIMULTANEOUS.	

				PUM	P SCH	IEDUL	.E						
			BASIS OF DE	SIGN						ELECTRICA	L		
SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	MFR	MODEL	FLOW RATE (GPM)	HEAD (FT H2O)	RPM	VOLTS	PH	AMPS	WATTS	HP	COMMENTS
CP-1	DOMESTIC HOT WATER CIRCULATION PUMP	MECHANICAL/ELECTRICAL 122	GRUNDFOS										PUMP SIZED TO MATCH EXISTING VOLTAGE, HEAD & CAPACITY OF EXISTING CIRCULATION PUMP.
SP-1	SUMP PUMP (ELEVATOR)	ELEVATOR LOBBY 131	ZOELLER	153	50	22		115	1	10.5		0	PROVIDE WITH SPCA-1 (LOCATED IN MECHANICAL/ELECTRICAL 122).

			MISCELLA	NEOUS	S EQU	IPMEN	NT SC	HEC	ULE			
			BASIS OF	DESIGN		GAS DATA			ELECTRICA	L		
SYMBOL	EQUIPMENT TYPE	LOCATION / SERVING	MFR	MODEL	CAPACITY	INPUT (MBH)	VOLTS	PH	AMPS	WATTS	HP	COMMENTS
SPCA-1	ELEVATOR SUMP PUMP CONTROL PANEL WITH ALARM	ELEVATOR LOBBY 131	SJE RHOMBUS	"EZ SERIES SINGLE PHASE SIMPLEX"			120	1	5			SINGLE PHASE SIMPLEX PUMP CONTROLLER WITH ALARM AND EZCONNEX FLOAT CONNECTION SYSTEM, AUXILIARY AUDIO/VISUAL ALARM, NEMA 4X ENCLOSURE. THIS WILL SERVE SP-1. PROVIDE FLOAT SWITCHES FOR: PUMP ON, PUMP OFF & HIGH WATER ALARM. ALSO COORDINATE WITH DIV. 26 FOR ALARM SIGNAL FROM PANEL TO BAS (CONTROLS).







2 CONDENSATE PIPING

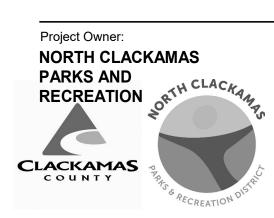
NO SCALE





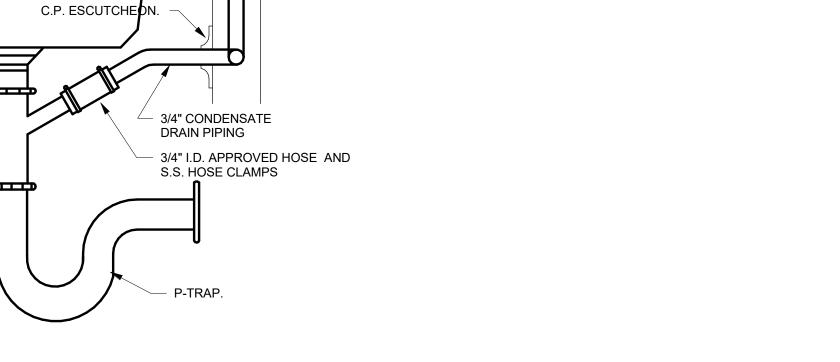
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3 CONDENSATE DRAIN CONNECTION

CONDENSATE DRAIN — DOWN IN WALL.

NO SCALE

CABINET TOP.

NOTE: ADJUST ROUGH-IN HEIGHT AS REQ'D.



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PERMIT SET

09.14.2023

Date:
Sheet Title
DETAILS PLUMBING

P5.10





GENERAL SHEET NOTES

A. REFER TO SPECIFICATION SECTION 260000.3.13 FOR ADDITIONAL INFORMATION FOR DEMOLITION SCOPE OF WORK.

B. DEVICES SHOWN ARE BASED ON AS-BUILT DOCUMENTATION. ANY DEVICES, WIRING ECT., THAT IS NOT SHOWN PER THE AS-BUILT PLANS, DURING DEMOLITION, CONTRACTOR TO CONTACT ARCHITECT PRIOR TO PROCEEDING WITH WORK.

D. SEE ARCHITECTURAL DRAWINGS FOR APPROXIMATE LOCATIONS FOR SAWCUTTING AND TRENCHING ASSOCIATED WITH ELECTRICAL WORK.

1. DEMOLISH ALL EXISTING LUMINAIRES. REUSE EXISTING LIGHTING CIRCUITS MADE AVAILABLE FROM DEMOLITION. SALVAGE AND COIL UP CONDUCTORS FOR LIGHTING CIRCUITS FOR NEW WORK.

FOR ADDITIONAL INFORMATION.

2. DEMOLISH DISCONNECT, CONDUIT, AND WIRING TO

- 4. DEMOLISH EXISTING LIGHTING CONTROL DEVICES.
- 6. LIGHT FXTURES TO BE RELOCATED, REFFERENCE SHEET E2.11 FOR MORE INFORMATION.
- COORDINATE EXACT LOCATION WITH ARCHITECT.
- 8. DEMOLISH DISCONNECT, CONDUIT, AND WIRING TO

C. DISCONNECT DEVICES AND SAFE OFF CONDUCTORS ON WALLS BEING DEMOLISHED. PROVIDE EXTENSION BOXES AS REQUIRED FOR SEISMIC BRACING.

○ SHEET KEYNOTES

CORRESPONDING MECHANICAL UNIT TO BE DEMOLISHED.

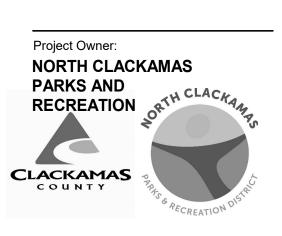
3. DEMOLISH SWITCHBOARD. DISCONNECT EXISTING FEEDERS

AND BRANCH CIRCUIT WIRING AND RECONNECT TO NEW SWITCHBOARD 2MDP. SEE ONE LINE DIAGRAM ON SHEET E5.10

- 5. DEMOLISH CT CABINET. DISCONNECT EXISTING FEEDERS AND CIRCUIT WIRING AND RECONNECT TO NEW SWITCHBOARD 2MDP. SEE ONE LINE DIAGRAM ON SHEET E5.10 FOR ADDITIONAL INFORMATION.
- 7. DEMOLISH EXISITING LIGHTING CONTROL DEVICE.
- CORRESPONDING PLUMBING UNIT TO BE DEMOLISHED.

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1 ADD-1 12 PR-02

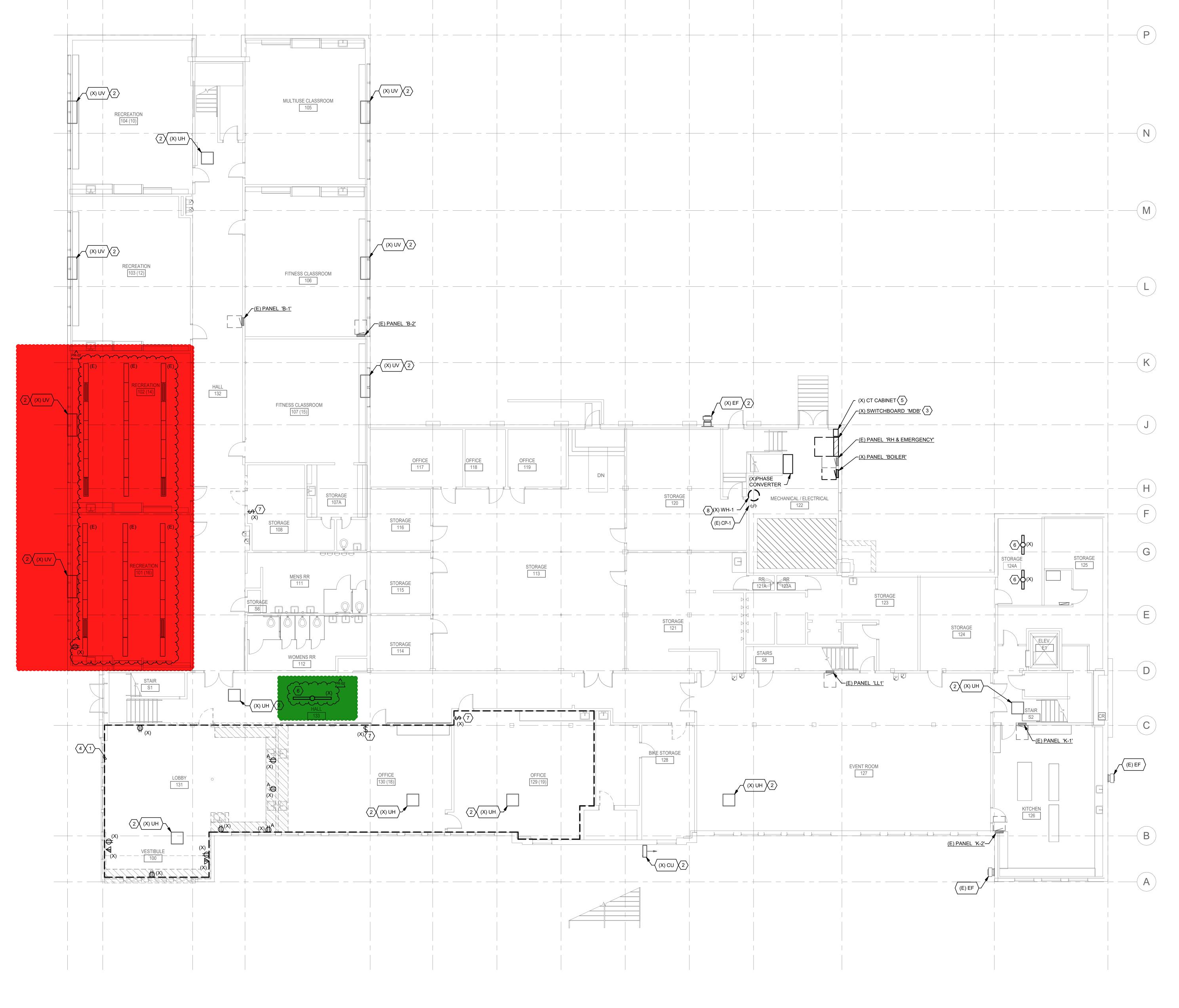
PERMIT SET

09.14.2023

Sheet Title **LOWER LEVEL FLOOR DEMOLITION** PLAN -

ELECTRICAL

ED2.10







GENERAL SHEET NOTES

A. REFER TO SPECIFICATION SECTION 260000.3.13 FOR ADDITIONAL INFORMATION FOR DEMOLITION SCOPE OF WORK.
B. DEVICES SHOWN ARE BASED ON AS-BUILT DOCUMENTATION. ANY DEVICES, WIRING ECT., THAT IS NOT SHOWN PER THE ASBUILT PLANS, DURING DEMOLITION, CONTRACTOR TO CONTACT ARCHITECT PRIOR TO PROCEEDING WITH WORK.

C. DISCONNECT DEVICES AND SAFE OFF CONDUCTORS ON WALLS BEING DEMOLISHED. PROVIDE EXTENSION BOXES AS REQUIRED FOR SEISMIC BRACING.

D. SEE ARCHITECTURAL DRAWINGS FOR APPROXIMATE LOCATIONS FOR SAWCUTTING AND TRENCHING ASSOCIATED WITH ELECTRICAL WORK.

SHEET KEYNOTES

- 1. DEMOLISH DISCONNECT, CONDUIT, AND WIRING TO CORRESPONDING MECHANICAL UNIT TO BE DEMOLISHED.
- ADD ALT. 01: DEMOLISH EXISTING LUMINAIRE.
 DEMOLISH ALL EXISTING LUMINAIRES. REUSE EXISTING LIGHTING CIRCUITS MADE AVAILABLE FROM DEMOLITION.
- SALVAGE AND COIL UP CONDUCTORS FOR LIGHTING CIRCUITS FOR NEW WORK.

 4. DEMOLISH EXISITING LIGHTING CONTROL DEVICE. COORDINATE EXACT LOCATION WITH ARCHITECT.
- 6. DEMOLISH EXISTING SURFACE MOUNTED WIREMOLD.

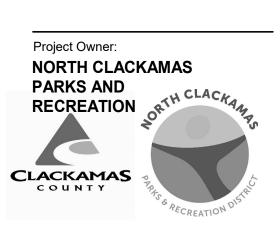
 REFFERENCE SHEET E3.12 FOR MORE INFORMATION.

 6. DEMOLISH EXISTING SURFACE MOUNTED VERTICAL TWO
- CHANNEL WIREMOLD.DEMOLISH DEVICES NOTED IN THIS AREA. REFER TO
- ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

 8. DEMOLISH SWITCH FOR DISPLAY CASE LIGHTING.
- 9. LIGHT FXTURES TO BE RELOCATED, REFFERENCE SHEET E2.11 FOR MORE INFORMATION.

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Revisions to Sheet

No. Revision Date

1 ADD-1

12 PR-02

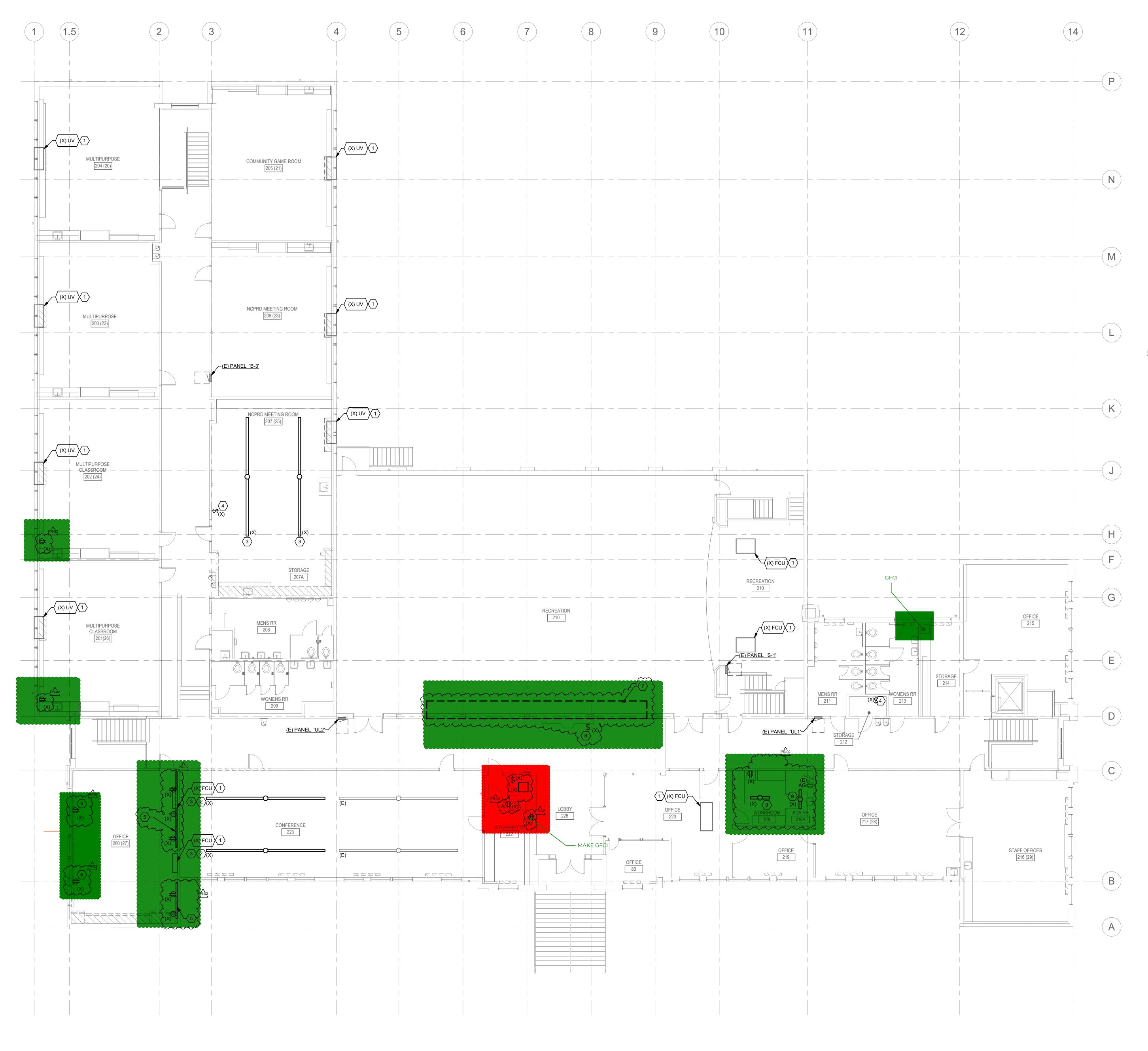
99.14.2023

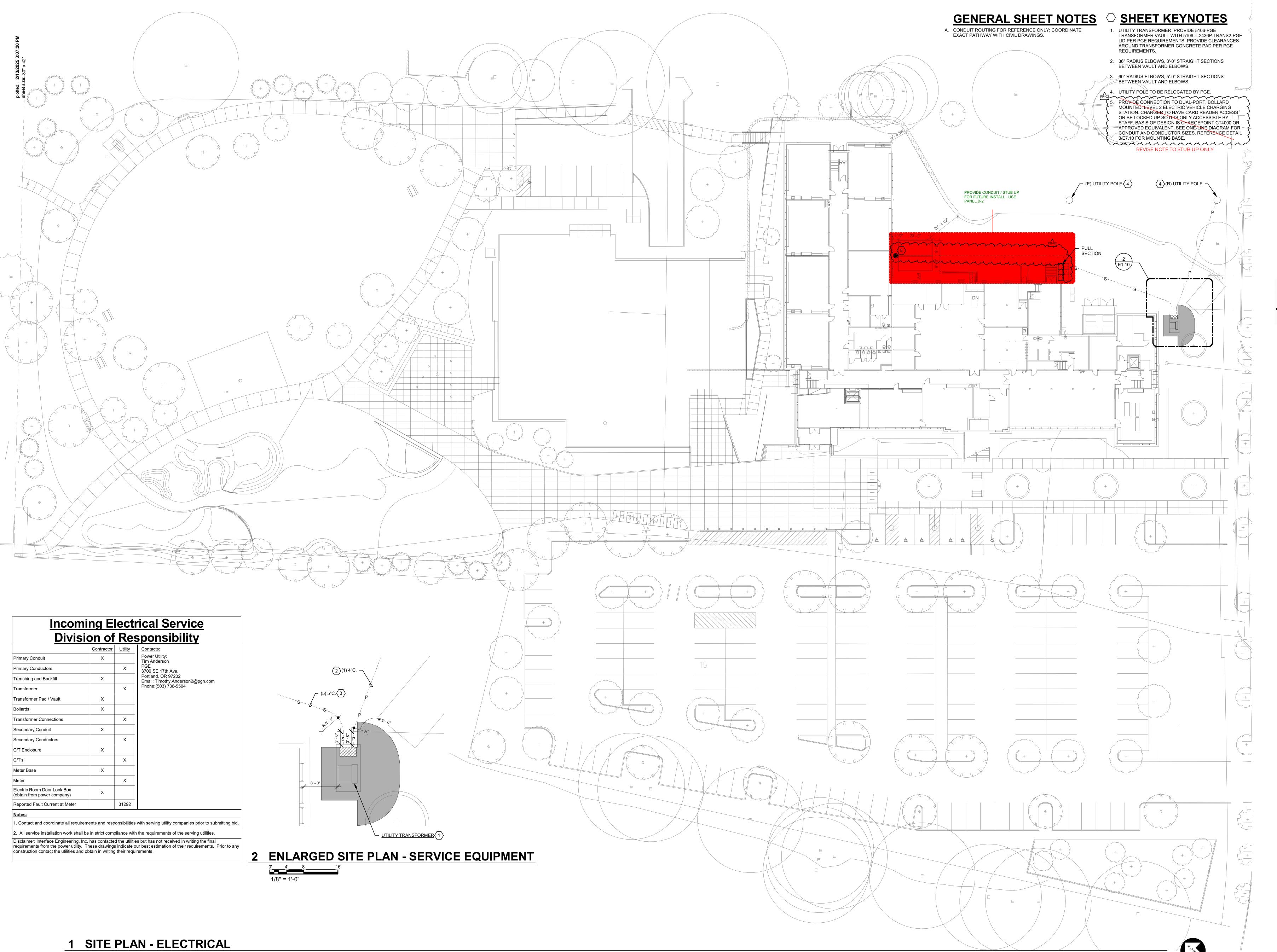
Sheet Title
UPPER LEVEL
FLOOR
DEMOLITION

PLAN -ELECTRICAL

ED2.11

...**4775-08**



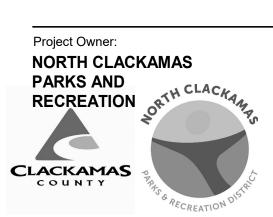


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Revisions to Sheet

No. Revision Date

ADD-1 10/03/23 RFI-1 03/25/24 RFI-4 04/24/24 PR-02 02/17/25

PERMIT SET

e: **09.14.2023**

Sheet Title
SITE PLAN ELECTRICAL

E1.10

4775-08

0' 20'



GENERAL SHEET NOTES

A. CONNECT NEW LUMINAIRES TO EXISTING CIRCUIT UON.

- B. CIRCUIT EMERGENCY LIGHTING TO INV-1.
- C. EXIT SIGNS: PROVIDE UNSWITCHED HOT CONDUCTOR FROM EMERGENCY LIGHTING CIRCUIT.
- D. VERIFY EXISTING LIGHT SWITCH LOCATIONS AND PROVIDE NEW SWITCHES IN EXISITING LOCATIONS(S).

SHEET KEYNOTES

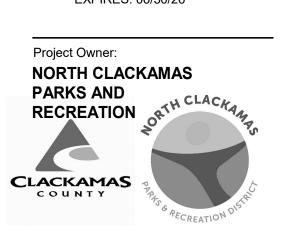
- 1. ADD ALT. 01: REFER TO DETAIL 1/E7.10 FOR SCOPE OF WORK ASSOCIATED WITH ELEVATOR.
- 2. EXISTING-TO-BE-RELOCATED LUMINAIRES. EXISTING LUMINAIRES LOCATED WITHIN STORAGE 124A AND WILL BE REVISED TO BE LOCATED AS SHOWN.
- NOT USED.
- 4. ADD ALT. 01: PROVIDE NEW LUMINAIRE.
- 5. LUMINAIRES TYPE 'C4' IN CONTINUOUS LINE LOCATED BELOW MECHANICAL EQUIPMENT AND DUCTS, PROVIDE STRUCTURAL METAL MOUNTING CHANNEL TO MOUNT
- BETWEEN MECHANICAL DUCTS, ADJUST MOUNTING HEIGHT OF LUMINAIRES TO HAVE BOTTOM OF LUMINAIRE ALIGNED TO BOTTOM OF DUCTWORK.

6. LUMINAIRES TYPE 'C1' IN CONTINUOUS LINE LOCATED

- 7. JUNCTION BOX CONNECTION IN BULKHEAD FOR FIXTURE SPECIFIED AS PART OF PR 02 SCOPE. PŘ-02 8. ADD ALT. 04: PROVIDE 3-WAY LIGHT SWITCHES IN LIEU OF CURRENTLY INSTALLED LIGHT SWITCHES TO JOIN RECREATION 101 & 102. MODIFY AS REQUIRED FOR LIGHTING CONTROLS TO ACCOMPLISH 3-WAY SWITCHING. REPLACE (E) T8 FLUORESCENT LAMPS WITH LED EQUIVALENT. PROVIDE NEW EXIT SIGNS AS
 - EXISTING-TO-BE-RELOCATED LUMINAIRE. EXISTING LUMINAIRE LOCATED WITHIN HALL 133 AND WILL BE REVISED TO BE LOCATED AS SHOWN. REPLACE EXISTING FLOURESCENT LAMPS WITHE LED

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RFI 105 01/14/25 PR-02

PERMIT SET

09.14.2023

Sheet Title **LOWER LEVEL** FLOOR PLAN -**LIGHTING**

E2.11

4775-08



0' 4' 8' 16



GENERAL SHEET NOTES

A. CONNECT NEW LUMINAIRES TO EXISTING CIRCUIT AND TIE INTO EXISTING LIGHTING CONTROLS UON.

B. CIRCUIT EMERGENCY LIGHTING TO INV-1.

C. VERIFY EXISTING LIGHT SWITCH LOCATIONS AND PROVIDE NEW SWITCHES IN EXISITNG LOCATIONS(S).

○ SHEET KEYNOTES

1. ADD ALT. 01: PROVIDE NEW 12' LENGTH LUMINAIRE TO MATCH EXISTING IN CONFERENCE 223.

2. ADD ALT. 01: PROVIDE NEW LUMINAIRE.

ADD ALT. 01: REFER TO DETAIL 1/E7.10 FOR SCOPE OF WORK ASSOCIATED WITH ELEVATOR.

4. CONTROL LIGHT ALONG WITH EXISITING HALLWAY LIGHTING. 5. LABEL FACEPLATE WITH "ATTIC LIGHTING".

6. RAISE EXISTING LINEAR LUMINAIRES BY 2'. REPLACE EXISTING FLOURESCENT LAMPS WITHE LED EQUIVALENT.

CONNECT TO CIRCUITS MADE AVAILABLE FROM DEMOLITION.

EXISTING-TO-BE-RELOCATED LUMINAIRES. EXISTING LUMINAIRES LOCATED WITHIN WORKROOM 218 AND

ADA RR 218A AND WILL BE REVISED TO BE LOCATED AS SHOWN. REPLACE EXISTING FLOURESCENT LAMPS WITHE LED EQUIVALENT. P. REPLACE (E) DAMAGED LENSES WITH PER

MANUFACTURERS RECOMMENDATIONS.

mpunumundu.

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Project Owner: NORTH CLACKAMAS PARKS AND RECREATION & **CLACKAMAS** COUNTY

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RFI-76 9/26/24 PR-02

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Sheet Title **UPPER LEVEL** FLOOR PLAN -LIGHTING

E2.12

4775-08

0' 4' 8' 16





1. ADD ALT. 01: REFER TO DETAIL 1/E7.10 AND SINGLE LINE DIAGRAM ON E5.10 FOR SCOPE OF WORK ASSOCIATED WITH

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EXPIRES: 06/30/26

Project Owner: **NORTH CLACKAMAS** PARKS AND RECREATION

NECESSARY BETWEEN DOOR CONTROLLER AND MANUAL OPERATORS. COORDINATE MANUAL PUSHBUTTON LOCATIONS WITH ARCHITECT. PROVIDE LOCAL DISCONNECT FOR DOOR CONTROLLER AS REQUIRED BY CODE PROVIDE LEGRAND RADIANT USB TYPE AC CHARGER WITH DUPLEX RECEPTACLE R26USBACW. CONFIRM COLOR WITH A ARCHITECT.

PR-02

ABOVE DOORWAY. CIRCUIT TO NEXT AVAILABLE SPARE BREAKER

MYERS ILLUMINATOR LVM-250, 250W OR EQUIVALENT. MOUNT ABOVE DOORWAY. SHARE CIRCUIT WITH 125W LIGHTING

ELEVATOR.

INVERTER.

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RFI-59 11/12/24 02/17/25 PR-02 RFI 105.2

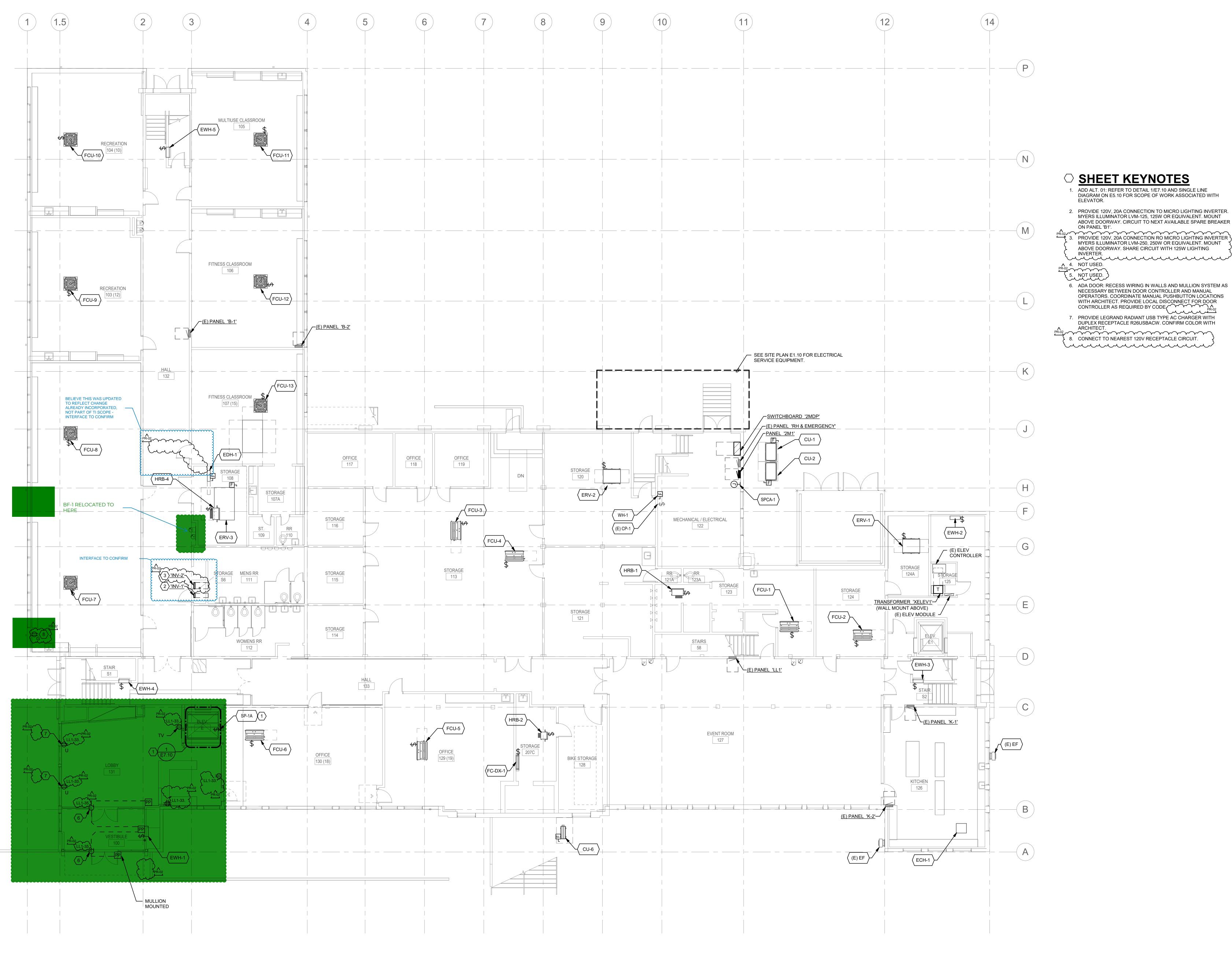
PERMIT SET

09.14.2023 Sheet Title

LOWER LEVEL FLOOR PLAN -POWER

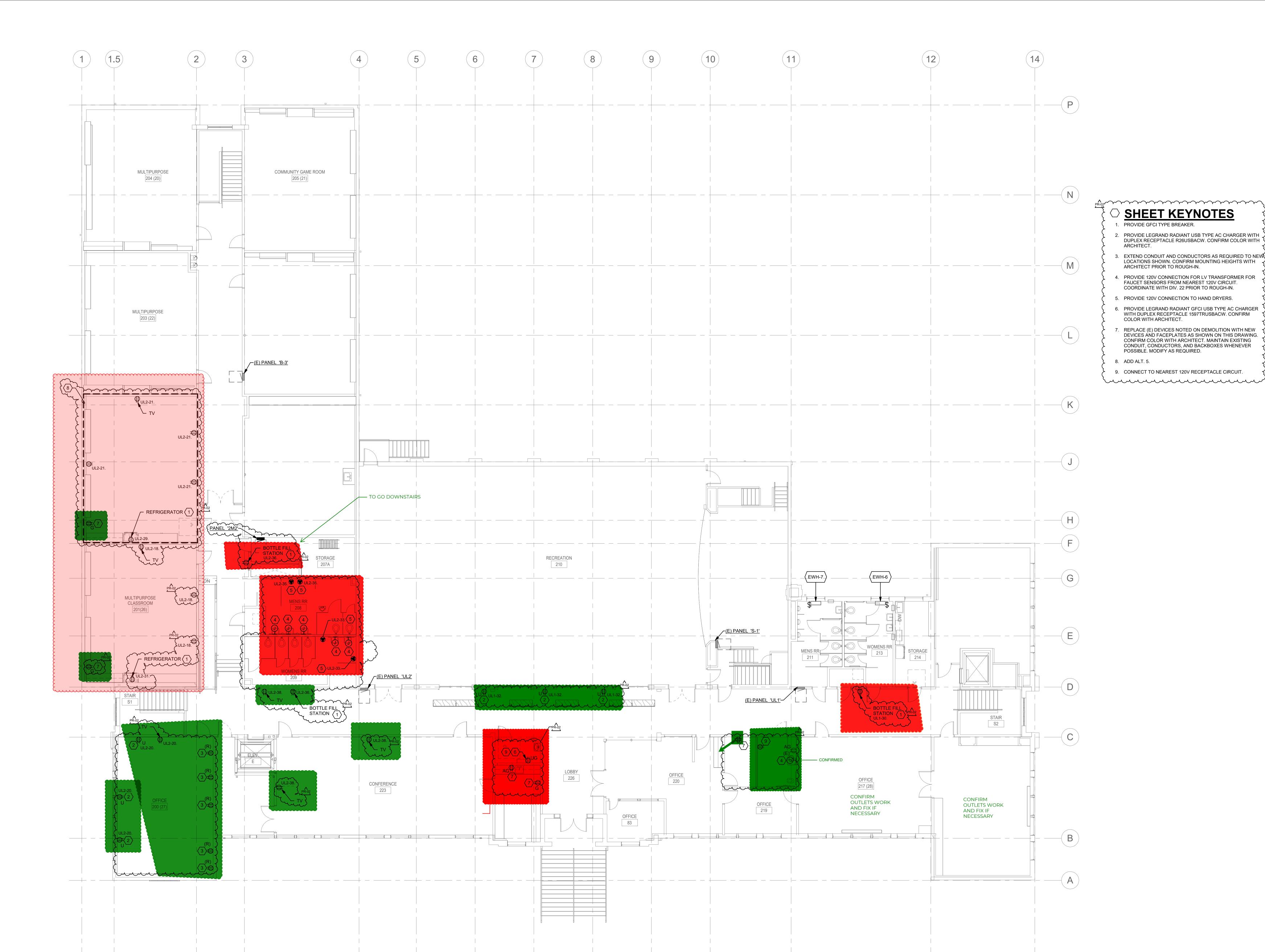
E3.11

4775-08



LOWER LEVEL FLOOR PLAN - ELECTRICAL

0' 4' 8' 16' 1/8" = 1'-0"





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CLACKAMAS

SHEET KEYNOTES

2. PROVIDE LEGRAND RADIANT USB TYPE AC CHARGER WITH DUPLEX RECEPTACLE R26USBACW. CONFIRM COLOR WITH

3. EXTEND CONDUIT AND CONDUCTORS AS REQUIRED TO NEW LOCATIONS SHOWN. CONFIRM MOUNTING HEIGHTS WITH

4. PROVIDE 120V CONNECTION FOR LV TRANSFORMER FOR FAUCET SENSORS FROM NEAREST 120V CIRCUIT.

6. PROVIDE LEGRAND RADIANT GFCI USB TYPE AC CHARGER WITH DUPLEX RECEPTACLE 1597TRUSBACW. CONFIRM

7. REPLACE (E) DEVICES NOTED ON DEMOLITION WITH NEW DEVICES AND FACEPLATES AS SHOWN ON THIS DRAWING.

9. CONNECT TO NEAREST 120V RECEPTACLE CIRCUIT.

CONFIRM COLOR WITH ARCHITECT. MAINTAIN EXISTING CONDUIT, CONDUCTORS, AND BACKBOXES WHENEVER

COORDINATE WITH DIV. 22 PRIOR TO ROUGH-IN.

5. PROVIDE 120V CONNECTION TO HAND DRYERS.

1. PROVIDE GFCI TYPE BREAKER.

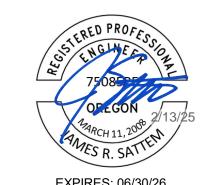
ARCHITECT PRIOR TO ROUGH-IN.

COLOR WITH ARCHITECT.

POSSIBLE. MODIFY AS REQUIRED.

ARCHITECT.

8. ADD ALT. 5.



EXPIRES: 06/30/26 Project Owner: NORTH CLACKAMAS PARKS AND RECREATION SETH CLACA

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1 ADD-1 12 PR-02

PERMIT SET

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Sheet Title **UPPER LEVEL**

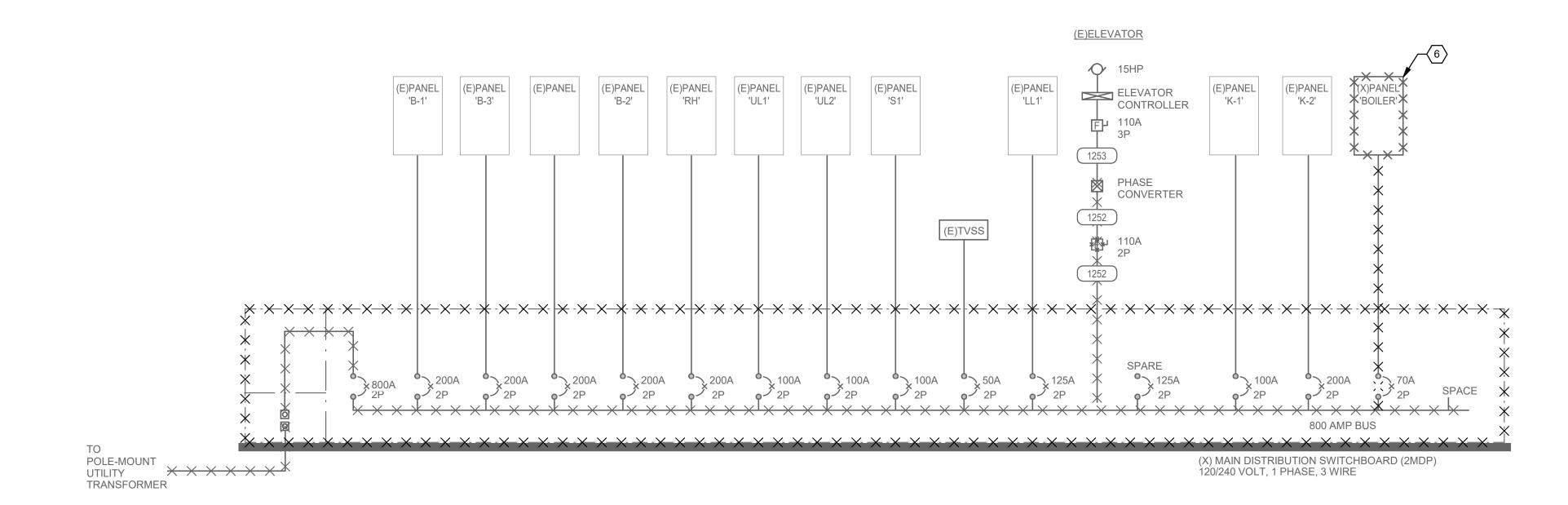
FLOOR PLAN -POWER

E3.12

4775-08

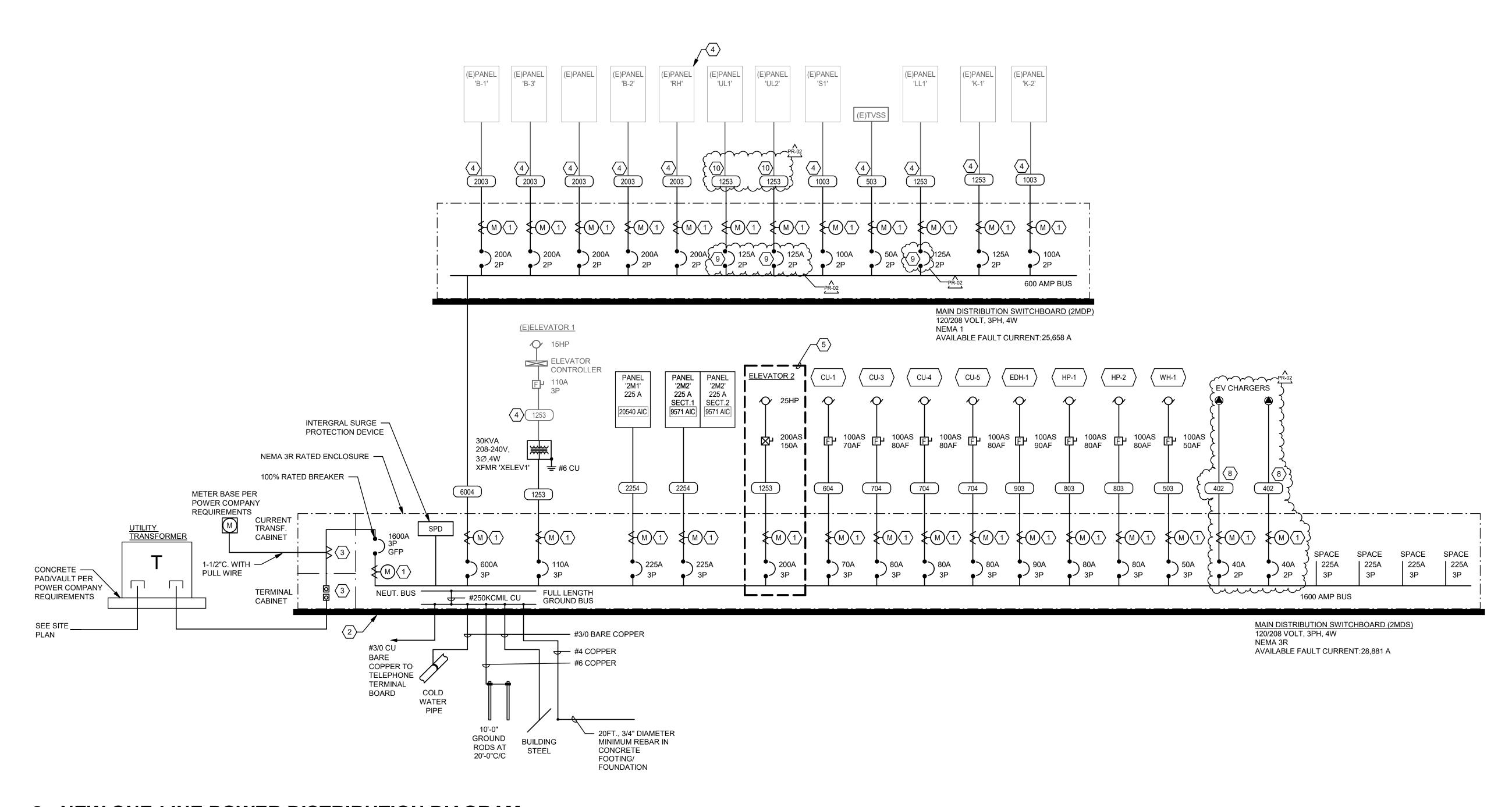
UPPER LEVEL FLOOR PLAN - POWER

0' 4' 8' 16' 1/8" = 1'-0"



1 EXISTING ONE-LINE POWER DISTRIBUTION DIAGRAM

NO SCALE



2 NEW ONE-LINE POWER DISTRIBUTION DIAGRAM

NO SCALE

psis



GENERAL SHEET NOTES

A. CALCULATED VALUES FOR AVAILABLE FAULT CURRENT ARE SUITABLE FOR PLAN REVIEW PURPOSES BUT ARE NOT CONSIDERED ACCURATE FOR ACTUAL INSTALLED FEEDER ROUTING. UPDATE THE AS-BUILT DRAWING SET AT THE CONSTRUCTION SITE WITH RESULTS OF CALCULATIONS FOR FAULT CURRENT BASED ON ACTUAL FEEDER LENGTHS AND ROUTING USING RESULTS OF LICENSED SOFTWARE PER APPROVED ELECTRICAL DISTRIBUTION SYSTEM STUDY (SECTION 25 05 73). ELECTRICAL DISTRIBUTION STUDY MUST INCORPORATE DISCONNECTS AND SWITCHES, OR MUST BE RATED TO MATCH SCCR OF UPSTREAM PANEL OR SWITCHBOARD.

○ SHEET KEYNOTES

- 1. PROVIDE ELECTRONIC SUBMETER TO CONFORM WITH REQUIREMENTS OF ASHRAE 90.1-2019 8.4.3.1.
- 2. PROVIDE 4-INCH HIGH CONCRETE HOUSEKEEPING PAD UNDER TRANSFORMER/SWITCHBOARD.
- 3. CURRENT TRANSFORMER/TERMINAL CABINET PER POWER COMPANY REQUIREMENTS.
- 4. CONTRACTOR TO VERIFY AND MATCH EXISTING FEEDER SIZES. SPLICE AND EXTEND EXISTING FEEDERS TO NEW STEP
- UP TRANSFORMER.5. ADD ALT. 01: PROVIDE BREAKER AND ASSOCIATED WIRING FOR NEW ELEVATOR. REFER TO DETAIL 1/E7.10 FOR
- 6. AFTER DECOMMISSIONING OF BOILER, VERIFY WHETHER ANY LOADS ARE FED FROM THIS PANEL AND DEMOLISH PANEL IF NO LOADS REMAIN ON IT.
- 7. PROVIDE CURRENT LIMITING FUSES IN THE FUSED DISCONNECT SWITCH TO LIMIT THE AVAILABLE FAULT CURRENT TO LESS THAN 10 KA. (BOD: BUSSMANN LOW-PEAK CLASS J, DUAL ELEMENT TIME-DELAY FUSE LPJ_SP, OR
- PR-02/ 8. PROVIDE CONNECTIONS IN SHARED 1"C.
- 9. PROVIDE 100% RATED BREAKER.

ADDITIONAL INFORMATION.

10. CONFIRM EXISTING CONDUIT SIZE AND RE-USE IF CAN ACCOMODATE (3)#1, #6G. PROVIDE NEW CONDUCTORS.

FEEDER SCHEDULE

C=Conduit only
S=Service secondary
X=Seperately derived system

503 3 #6 CU, 1 #10 CU GND., IN 3/4" C.

604 4 #4 CU, 1 #10 CU GND., IN 1 1/4" C.

704 4 #4 CU, 1 #8 CU GND., IN 1 1/4" C.

803 3 #2 CU, 1 #8 CU GND., IN 1 1/4" C.

903 3 #2 CU, 1 #8 CU GND., IN 1 1/4" C.

1003 3 #2 CU, 1 #8 CU GND., IN 1 1/4" C.
1253 3 #1 CU, 1 #6 CU GND., IN 1 1/4" C.

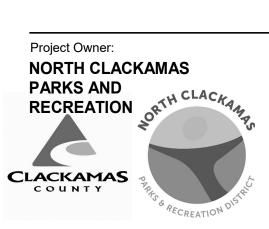
2003 3 #3/0 CU, 1 #6 CU GND., IN 2" C.

2254 4 #4/0 CU, 1 #4 CU GND., IN 2 1/2" C.

6004 2 SETS OF (4 - 350 kcmil CU, 1 #1 CU GND., IN 3" C.)

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Revisions to Sheet

 No.
 Revision
 Date

 1
 ADD-1
 10/03/23

 5
 RFI-12
 6/25/24

 6
 RFI-18
 7/02/24

 9
 RFI-59
 11/12/24

 12
 PR-02
 02/17/25

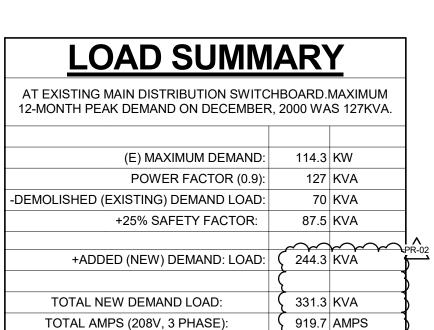
s: **PERMIT SET**

Date: **09.14.2023**

SINGLE LINE DIAGRAMS -ELECTRICAL

Sheet No. **E5.10**

b No.



LOADS SUMMARY A	T SWITCHE	BOARD: 2MD)S		
Load Type	Connected Load	NEC Demand Factor	NEC Estimated Demand	Pa	anel Totals
Motor	189087.0	103.56%	195824.0		
L	540.0	125.00%	675.0	Total Connected Load:	331847.00
R	15120.0	83.07%	12560.0	Total Est. Demand:	358034.00
Н	39000.0	100.00%	39000.0	Total Conn. Current:	921.12 A
G	600.0	100.00%	600.0	Total Est. DemandCurrent:	993.8 A
Existing Load	87500.0	125.00%	109375.0		

	MAIN LUG ONLY BUS AMPACITY: 225 A EQUIPMENT RATING: 120/20 FOR AIC RATING SEE ON	08 V, 3PH, 4								ENCLO LOCA	NTING: SURE: ATION: FROM:	TYPE MECH	1 HANIC	AL /	Ac	cessories:		
								Load	(VA)									
CKT	Description/Location	Time	C.B.	Dala	Note	A	В	С	A	В	С	Note	Pole	C.B.	Time	Door	cription/Location	СКТ
1	CU-6	Type Motor	30 A	3	NOLE	1,825			1,500			NOLE	2	20 A	Type H	Desc	EWH-3	2
3						1,020	1,825		1,000	1,500								4
5							1,020	1,825		1,000	1,500		2	20 A	Н		EWH-6	6
7	HRB-1	Motor	15 A	2		22		-,	1,500		1,000							8
9				<u> </u>			22			1,500			2	20 A	Н		EWH-7	10
11	HRB-2	Motor	15 A	2				22			1,500							12
13						22			2,738				3	40 A	Motor		CU-2	14
15	HRB-3	Motor	15 A	2			22			2,738								16
17								22			2,738							18
19	ECH-1	Н	40 A	2		3,000			641				2	15 A	Motor		FCU-1,2,4	20
21							3,000			641								22
23	ERV-1	Motor	15 A	2				749			574		2	15 A	Motor		FCU-3,5,6	24
25						749			574									26
27	ERV-2	Motor	15 A	2			749			574			2	15 A	Motor	F	-CU-14,15,16	28
29								749			574							30
31	ERV-4	Motor	15 A	2		749			433				2	15 A	Motor		FCU-17,18	32
33							749			433								34
35	EWH-2	H	20 A	2		. =		1,500	_		1,848		1	20 A	Moto		PCA-1,(SP-1A.)	36
37						1,500			0				1	20 A			ARE BREAKER	38
39	SPARE BREAKER		20 A	2			0			0			2	20 A		SP	ARE BREAKER	40
41	 Total Connected load Ph. A					407.4		0			0					440.0.4		42
	Total Connected load Ph. A Total Connected load Ph. B Total Connected load Ph. C					127 A 115 A 113 A		۲			d Load: d Load:					118.3 A 124.0 A		\
Notes:	Total Connected load 1 11. C					110 /							-					
Moto	Type Definitions: r (125% largest Motor + 100% rer	-				•	nd as pe							•	•	-	(Demand per NEC	
	ceptacles (to 10kVA100%, over 1 sting Load 30-day metered (125%					•	Non-cor and as		, ,	,	L = Lig W = W					H = Heating	(100%)	
	oad Type Connec	ted Load		N	EC De	mand F	actor		NEC D	emand	Load					Panel To	otals	
L	180	0.00			10	0.00%				18000.0)							
- <u>-</u>	241	008.6			10	8.55%			:	26062.1				Tota	al Conne	cted Load:	42608.6 VA	
1								_		200								
l ∕lotor		0.00			10	0.00%				600.0					otal NE	C Demand:	44662.1 VA	
		0.00			10	0.00%				600.0				Total C	Connect	C Demand: ed Current: nd Current:	118.3 A	

1 3 5 7 9 11 13 15 17 SPA 19 19 19 19 19 19 19 19 19 19 19 19 19	AIC RATING SEE ON	08 V, 3PH, 4 E-LINE DIA		l						ENCLO LOCA PLIED	ATION:	STOR	RAGE 2	207A				
1 3 5 7 9 111 13 15 17 SPA 19 19 19 19 19 19 19 19 19 19 19 19 19			I		1			Load	(VA)	I	I							1
3 5 7 9 11 13 15 15 17 18 19 21 23 56 27 29 31 35 ELEV 2 S 37 ELEV 2 S 39 ELEV 2 S 39 ELEV 2 41 ELE 43 BU 45 BU 45 BU 51 BU 51 BU 53 BU Total Co	cription/Location	Туре	C.B.	Pole	Note	A	В	С	A	В	С	Note	Pole	C.B.	Туре	Desc	cription/Location	СКТ
5 7 9 11 13 15 17 19 21 23 F0 25 27 29 31 F0 33 35 ELEV 2 37 ELEV 2 S 39 ELEV 2 41 ELEV 43 BUS 45 BUS 45 BUS 51 BUS 53 BUS Total Co	EWH-1	Н	20 A	2		1,500			574				2	15 A	Motor	F	FCU-23,24,25	2
7 9 11 13 15 17 19 21 23 50 25 27 29 31 35 ELEV 29 31 51 ELEV 2 S 39 ELEV 2 S 39 ELEV 2 S 41 ELEV 43 BUS 45 BUS 47 BUS 51 BUS 53 BUS Total Co							1,500	4 500		574								4
9 11 13 15 17 19 21 23 50 25 27 29 31 35 ELEV 2 S 37 ELEV 2 S 39 ELEV 2 S 41 ELE 43 BU 45 BU 45 BU 51 BU 53 BU Total Co	EWH-4	H	20 A	2		1,500		1,500	574		574		2	15 A	Motor	ŀ	FCU-26,27,28	6 8
11	EWH-5	 H	20 A	2		1,500	1,500		374	749			2	15 A	Motor		ERV-5	10
15 17 19 21 23 525 27 29 31 35 ELEV 2 37 ELEV 2 S 39 ELEV 2 S 41 ELEV 43 45 BUST BUST BUST BUST BUST BUST BUST BUST							1,000	1,500		7 10	749							12
17 SPA 19 21 23 F0 25 27 29 31 F0 33 35 ELEV 37 ELEV 2 S 39 ELEV 2 S 41 ELEV 43 BUS 45 BUS 47 BUS 51 BUS 51 BUS 51 BUS Total Co	HRB-4	Motor	15 A	2		22		,	749				2	15 A	Motor		ERV-6	14
19 21 23 F(~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	~~~~	\sim	~~~	~~	\sim	22			749								16
21 23 F0 25 27 29 31 F0 33 F0 33 FELEV 2 S 39 FLEV 2 S 39 FLEV 2 S 41 FLEV 43 FO 45 FO 45 FO 47 FO 49 FO 51 FO 53 FO 53 FO 53 FO 60	ARE BREAKER	نكنتند	20 A		lili	لىنىر	}	0			749		2	15 A	Motor		ERV-7	18
23 F0 25 27 29 31 F0 33 35 ELEV 37 ELEV 2 S 39 ELEV 2 41 ELEV 43 BUS 45 BUS 47 BUS 51 BUS 53 BUS Total Co	FCU-7,8,9	Motor	20 A	2		522	500		749	740				 45 A	 N4-4		 FDV 0	20
25 27 29 31 F0 33 ELEV 37 29 36 ELEV 38 39 ELEV 2 41 ELE 43 B0 45 BU 47 BU 49 BU 51 BU 53 BU Total Co	 FCU-10,11,12	Motor	 15 A	2			522	522		749	749		2	15 A	Motor		ERV-8	22
27 29 31 35 ELEV 37 ELEV 2 S 39 ELEV 2 41 ELE 43 BU 45 BU 45 BU 51 BU 51 BU 53 Total Co			15 A			522		522	22		749		2	15 A	Motor		HRB-5	26
29 31 35 ELEV 2 S 39 ELEV 2 S 39 ELEV 2 S 41 ELEV 43 BUS 45 BUS 47 BUS 51 BUS 53 Total Co	FCU-13,22	Motor	15 A	2		UZZ	365			22								28
33 35 ELEV 2 S 37 ELEV 2 S 39 ELEV 2 S 41 ELEV 43 BUS 45 BUS 47 BUS 51 BUS 51 BUS Total Co								365			2,594		3	35 A	Motor		ERV-3	30
35 ELEV 2 S 37 ELEV 2 S 39 ELEV 2 S 41 ELEV 43 BUS 45 BUS 47 BUS 51 BUS 53 BUS Total Co	FCU-19,20,21	Motor	15 A	2		624			2,594									32
37 ELEV 2 S 39 ELEV 2 41 ELEV 43 BU 45 BU 47 BU 51 BU 53 BU Total Co	EV 2 CAB LIGHT	~~~	~~~	~~	~~~	~~	~624 _~	\sim		2,594								34
39 ELEV 2 41 ELEV 43 BO 45 BU 47 BU 49 BU 51 BU 53 BU Total Co			20 A	1		700		180	<u> </u>		0		2	20 A		SP	ARE BREAKER	36
41 ELE 43 B0: 45 BU: 47 BU: 49 BU: 51 BU: 53 BU: 53 BU: 53 Total Co Total C	SHAFT/PIT RECEPT 2 PIT/SHAFT LIGHT	R	20 A	1		720	260		0	0				20 A		<u> </u>	 ARE BREAKER	38
45 BU 45 BU 47 BU 49 BU 51 BU 53 BU Total Co	EV 2 CAB HVAC	Motor	20 A 20 A	1			360	180	<u> </u>	U	0		2	20 A		35.	ARE DREARER	40
47 BUS 49 BUS 51 BUS 53 BUS Total Co	JSSED SPACE	الثيثات	خيث	 	\	سيد	\sim		<u></u>		0		1			Bl	JSSED SPACE	44
49 BUS 51 BUS 53 BUS Total Co	JSSED SPACE			1									1				JSSED SPACE	46
Total Co Tot	JSSED SPACE			1									1			Bl	JSSED SPACE	48
Total Co	JSSED SPACE			1									1				JSSED SPACE	50
Total Co Total Co Total Co otes: oad Type Definiti Motor (125% large = Receptacles (to	JSSED SPACE			1									1				JSSED SPACE	52
Total Co Total Co otes: oad Type Definiti Motor (125% large = Receptacles (to	JSSED SPACE connected load Ph. A			1		90 A			anel Co			20.71	1		[В В5.1 А	JSSED SPACE	54
Motor (125% large = Receptacles (to	onnected load Ph. B onnected load Ph. C					87 A 81 A			Total	Demano	d Load:	32.7 k	(VA			90.9 A		
Load Type	gest Motor + 100% ren to 10kVA100%, over 1 30-day metered (125% Connec	0 kVA 6) ted Load		G = (EL =	Genera Elevate EC De	(Demar I Load (I or (Dem mand F	Non-cor and as	ntinuous	s) (100% C Table NEC C	%) Demand	L = Lig W = W	ontinuo ghting (/ater H	125%)		•	X = X-Rays H = Heating Panel To	· · ·	
	900	0.00				0.00%				9000.0								
latar		10.0				25.00%				675.0							30663.5 VA	
lotor						9.53%				22348.9 720.0	1					Demand: d Current:	32743.9 VA	
•	204	20.0			10	0.00%				/ /!!!!								





	MECHANI	CAL EQUI	ME	NI	CONN	EC		SCHE	:DULE	! •
					LOAD			CIRCUIT	WIRE /	
SYMBOL	DESCRIPTION	LOCATION	VOLTS	PH	(VA) HP	MCA	MOCP	NUMBER	CONDUIT	NOTES
CU-1	CONDENSING UNIT	OUTDOOR	208	3	15448.2		70	2MDS-13	604	2
CU-2	CONDENSING UNIT	OUTDOOR	208	3	8214.1		40	2M1-14,16,18	303	
CU-3	CONDENSING UNIT	ROOF	208	3	18215.1		80	2MDS-8	704	
CU-4	CONDENSING UNIT	ROOF	208	3	18215.1		80	2MDS-10	704	
CU-5	CONDENSING UNIT	ROOF	208	3	18215.1		80	2MDS-9	704	
CU-6	CONDENSING UNIT	OUTDOOR	208	3	5476.1		30	2M1-1,3,5	203	
ECH-1 EDH-1	ELECTRIC WALL HEATER ELECTRIC DUCT HEATER	KITCHEN 126 STORAGE 108	208 208	3	6000.0 24000.0		40 90	2M1-19,21 2MDS-3	402 903	
ERV-1	ENERGY RECOVERY UNIT	STORAGE 108 STORAGE 124A	208	<u>3</u> 1	1497.6		15	2M1-23,25	202	
ERV-1	ENERGY RECOVERY UNIT	OFFICE 120	208	1	1497.6		15	2M1-23,23 2M1-27,29	202	
ERV-3	ENERGY RECOVERY UNIT	STORAGE 108	208	3	7781.8		35	2M2-30,32,34	304	
ERV-4	ENERGY RECOVERY UNIT	ATTIC	208	1	1497.6		15	2M1-31,33	202	
ERV-5	ENERGY RECOVERY UNIT	ATTIC	208	1	1497.6		15	2M2-10,12	202	
ERV-6	ENERGY RECOVERY UNIT	ATTIC	208	1	1497.6		15	2M2-14,16	202	
ERV-7	ENERGY RECOVERY UNIT	ATTIC	208	1	1497.6		15	2M2-14,10 2M2-18,20	202	
ERV-8	ENERGY RECOVERY UNIT	ATTIC	208	1	1497.6		15	2M2-22,24	202	
EWH-1	ELECTRIC WALL HEATER	VESTIBULE 100	208	1	3000.0		20	2M2-1,3	202	
EWH-2	ELECTRIC WALL HEATER	STORAGE 125	208	1	3000.0		20	2M1-35,37	202	
EWH-3	ELECTRIC WALL HEATER	HALL 225	208	1	3000.0		20	2M1-2,4	202	
EWH-4	ELECTRIC WALL HEATER	HALL 133	208	 1	3000.0		20	2M2-5,7	202	
EWH-5	ELECTRIC WALL HEATER	HALL 132	208	<u>·</u> 1	3000.0		20	2M2-9,11	202	
EWH-6	ELECTRIC WALL HEATER	WOMANS RR 213	208	<u>·</u> 1	3000.0		20	2M1-6,8	202	
EWH-7	ELECTRIC WALL HEATER	MENS RR 211	208	<u>·</u> 1	3000.0		20	2M1-10,12	202	
FC-DX-1	FAN COIL	OFFICE 128	208	1	0.0		15		(none)	FED FROM CU-
FCU-1	FAN COIL UNIT	STORAGE 123	208	1	382.7		15	2M1-20,22	202	
FCU-2	FAN COIL UNIT	STORAGE 124	208	1	382.7		15	2M1-20,22	202	
FCU-3	FAN COIL UNIT	STORAGE 113	208	1	382.7		15	2M1-24,26	202	
FCU-4	FAN COIL UNIT	STORAGE 113	208	1	515.8		15	2M1-20,22	202	
FCU-5	FAN COIL UNIT	OFFICE 129	208	1	382.7		15	2M1-24,26	202	
FCU-6	FAN COIL UNIT	OFFICE 130	208	1	382.7		15	2M1-24,26	202	
FCU-7	FAN COIL UNIT	RECREATION 101	208	1	347.8		15	2M2-19,21	202	
FCU-8	FAN COIL UNIT	RECREATION 102	208	1	347.8		15	2M2-19,21	202	
FCU-9	FAN COIL UNIT	RECREATION 103	208	1	347.8		15	2M2-19,21	202	
FCU-10	FAN COIL UNIT	RECREATION 104	208	1	347.8		15	2M2-23,25	202	
FCU-11	FAN COIL UNIT	MEETING ROOM 105	208	1	347.8		15	2M2-23,25	202	
FCU-12	FAN COIL UNIT	MEETING ROOM 106	208	1	347.8		15	2M2-23,25	202	
FCU-13	FAN COIL UNIT	MEETING ROOM 107	208	1	347.8		15	2M2-27,29	202	
FCU-14	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M1-28,30	202	
FCU-15	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M1-28,30	202	
FCU-16	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M1-28,30	202	
FCU-17	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M1-32,34	202	
FCU-18	FAN COIL UNIT	ATTIC	208	1	482.6		15	2M1-32,34	202	
FCU-19	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-31,33	202	
FCU-20	FAN COIL UNIT	ATTIC	208	1	482.6		15	2M2-31,33	202	
FCU-21	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-31,33	202	
FCU-22	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-27,29	202	
FCU-23	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-2,4	202	
FCU-24	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-2,4	202	
FCU-25	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-2,4	202	
FCU-26	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-6,8	202	
FCU-27	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-6,8	202	
FCU-28	FAN COIL UNIT	ATTIC	208	1	382.7		15	2M2-6,8	202	
HP-1	HEAT PUMP	ROOF	208	3	11816.7		50	2MDS-12	503	
HP-2	HEAT PUMP	ROOF	208	3	11816.7		50	2MDS-11	503	
HRB-1	HEAT RECOVERY BOX	STORAGE 123	208	1	44.9		15	2M1-7,9	202	
HRB-2	HEAT RECOVERY BOX	STORAGE 207C	208	1	44.9		15	2M1-11,13	202	
י סטוו	HEAT RECOVERY BOX	ATTIC	208	1	44.9 44.9		15 15	2M1-15,17 2M2-13,15	202	
HRB-3	LIEAT DECOVEDY DOV					1	1.5	□ ノバルー13.15	- ンロン	i contraction of the contraction
HRB-4	HEAT RECOVERY BOX	STORAGE 108	208							
	HEAT RECOVERY BOX HEAT RECOVERY BOX ELEVATOR 2 SUMP PUMP	STORAGE 108 ATTIC ELEV 2	208 208 120	1 1	44.9 44.9 1248.0		15	2M2-26,28 2M1-36	202	1

A. THE ABOVE INFORMATION IS FOR A SPECIFIC MANUFACTURER. ACTUAL MANUFACTURER FOR EQUIPMENT MAY BE DIFFERENT. COORDINATE WITH MECHANICAL EQUIPMENT SUBMITTALS FOR LOADS AND OVER CURRENT PROTECTION REQUIREMENTS PRIOR TO INSTALLATION OF WIRING. GENERAL MECHANICAL EQUIPMENT CONNECTION NOTE:

B. MOCP = MAXIMUM OVER CURRENT PROTECTION. MCA = MINIMUM CIRCUIT AMPACITY

C. PROVIDE DISCONNECTING MEANS FOR EACH ITEM OF EQUIPMENT LISTED IN THE SCHEDULE ABOVE, EXCEPT AS SPECIFICALLY NOTED OTHERWISE IN SCHEDULE NOTES, BELOW.

MECHANICAL EQUIPMENT CONNECTION SCHEDULE NOTES

1 ADD ALT. 01: ELEVATOR.

PROVIDE CURRENT LIMITING FUSES IN THE FUSED DISCONNECT SWITCH TO LIMIT THE AVAILABLE FAULT CURRENT TO LESS THAN 5 KA. (BOD: BUSSMANN LOW-PEAK CLASS J, DUAL ELEMENT TIME-DELAY FUSE LPJ_SP, OR SIMILAR).

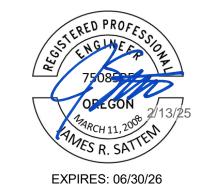
WIRE/CONDUIT SCHEDULE

202 2 #12 CU, 1 #12 CU GND., IN 3/4" C. 203 3 #12 CU, 1 #12 CU GND., IN 3/4" C. 303 3 #10 CU, 1 #10 CU GND., IN 3/4" C. 304 4 #10 CU, 1 #10 CU GND., IN 3/4" C. 402 2 #8 CU, 1 #10 CU GND., IN 3/4" C. 503 3 #6 CU, 1 #10 CU GND., IN 3/4" C. 604 4 #4 CU, 1 #10 CU GND., IN 1-1/4" C.

704 4 #4 CU, 1 #8 CU GND., IN 1-1/4" C.

903 3 #2 CU, 1 #8 CU GND., IN 1-1/4" C.

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CONCORD COMMUNITY CENTER

Project Adress: 3811 SE Concord Road, Milwaukie, OR 97267

INTERFACE ENGINEERING

PROJECT 2022-1137 CONTACT Brayam Cruz 100 SW Main Street, Suite 1600 Portland, OR 97204 TEL 503.382.2266 www.interfaceengineering.com

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ADD-1 10/03/23 4 RFI-11 6/17/24 PR-02 02/17/25

PERMIT SET

09.14.2023

Sheet Title
SCHEDULES ELECTRICAL

E6.10

	MAIN LUG ONLY BUS AMPACITY: 125 A EQUIPMENT RATING: 120/240 V, FOR AIC RATING SEE ONE-LII	MOUNTING: RECESSED Accessories: ENCLOSURE: TYPE 1 LOCATION: EVENT ROOM 127 SUPPLIED FROM:														
						A	Load B	(VA)	В							
CKT	Description/Location	Туре	C.B.	Pole	Note					Note	Pole	C.B.	Туре		iption/Location	СКТ
1	RM 6		20 A	1	2	0		0		2	1	20 A		CA	FE OUTLET	2
3	GIRLS LOCKER		20 A	1	2		0		0	2	1	20 A			CAFE	4
5	CAFE LIGHTS		20 A	1	2	0		0		2	1	20 A			LAY ROOM	6
7	TAN RM/RM 6		20 A	1	2		0		0	2	1	20 A			ORRIDOR	8
9	BOYS LOCKER		20 A	1	2	0		0		2	1	20 A			ET MAIN HALL	10
11	PLUGS PLAY RM		20 A	1	2		0		0	2	1	20 A			RE ALARM	12
13	EAST SM ASS, OFFICE SUPPLY		20 A	1	2	0		0		2	1	20 A			STING LOAD	14
15	OFFICE, SPEC. ED ROOM		20 A	1	2		0		0	2	1	20 A			PURPOSE ROOM	16
17	CLASSROOM R-(BY LUNCH RM)		20 A	1	2	0		0		2	1	20 A			DF OUTLET	18
19	MDF OUTLET		20 A	1	2		0		0	2	1	20 A			STING LOAD	20
21	RM 18,19 OUTLETS		20 A	1	2	0		0		2	1	20 A			STING LOAD	22
23	SPARE BREAKER		20 A	1	2		0		0	2	1	20 A		EXI	STING LOAD	24
25	EXISTING LOAD		20 A	1	2	0		0		2	1	20 A		EXI	STING LOAD	26
27	EXISTING LOAD		20 A	1	2		0		0	2	1	20 A		EXI	STING LOAD	28
29	SPARE BREAKER		20 A	1		0		0		2	1	20 A		EXI	STING LOAD	30
31	SPARE BREAKER		20 A	1			0				1			BUS	SSED SPACE	32
33	R ROOM 131	R	20 A	1	1	1,080					1			BUS	SSED SPACE	34
35	LOBBY ADA DOORS	Motor	20 A	1	1		500				1				SSED SPACE	36
37	BUSSED SPACE			1							1				SSED SPACE	38
39	BUSSED SPACE			1							1				SSED SPACE	40
41	BUSSED SPACE			1							1				SSED SPACE	42
	Total Connected load Ph. A					9 A		Pan	el	1.6 kV	Ä			.6 A		
	Total Connected load Ph. B					4 A		Total De						.8 A		
	Total Connected load Ph. C					0 A		. Star DC			•		O.	,.		
oad 1	V LOAD ON NEW BREAKER. STING LOAD ON EXISTING BREAKER Type Definitions: 125% largest Motor + 100% remaining	ı motors)			,		•	EC Table					` '	• `	Demand per NEC 660.	 6)
= Ex	ceptacles (to 10kVA100%, over 10 kV/sting Load 30-day metered (125%)			EL = E	levator	•		NEC Tal	ble	W =	_	ing (125 Heater (1	•	Panel To		
Load Type Connected Load		_Jau			112.50%				562.5	_oau				r anen 10	naio	
	500.0				100.009							т.	otal Canna	ected Load:	1590 0 \/A	
1otor	4000 0				100.009	0		1	0.080			- 10			1000.0 VA	
lotor	1080.0												Total NE	C Domond.	1642 5 \/A	
1otor	1080.0											Tota		C Demand:		
1otor	1080.0												I Connecte	C Demand: ed Current: nd Current:	6.6 A	

	MAIN LUG ONLY BUS AMPACITY: 125 A EQUIPMENT RATING: 120/240 V, FOR AIC RATING SEE ONE-LII	MOUNTING: RECESSED Accessories: ENCLOSURE: TYPE 1 LOCATION: SUPPLIED FROM:														
							Load	d (AV)								
СКТ	Description/Location	Туре	C.B.	Pole	Note	A	В	А	В	Note	Pole	C.B.	Type	Descr	iption/Location	скт
1	PRINCIPALS OFFICE, CONF RM		20 A	1	3	0		0		3	1	20 A			KE MACHINE	2
3	OFFICE		20 A	1	3		0	Ť	0	3	1	20 A			HALL	4
5	COPY MACHINE		20 A	1	3	0		0		3	1	20 A		FAC. KITO	CHEN HALL LIGHTS	6
7	OFFICE		20 A	1	3		0		0	3	1	20 A			HERS LOUNGE	8
9	STAFF RM, INSTANT HOT WTR		20 A	1	3	0		0		3	1	20 A			AGE 212 LIGHTS	10
11	RM 29 LIGHTS		20 A	1	3		0		0	3	1	20 A			CE, RM 28 OUTLETS	12
13	RM 28 LIGHTS		20 A	1	3	0		0		3	1	20 A			ΓATIONS, RM 28,29	14
15	HALL LIGHTS		20 A	1	3		0		0	3	1	20 A			TS, RM 29 STAFF	16
17	BUSSED SPACE			1	_			0		3	1	20 A			FICE LIGHTS	18
19	STAFF RM OUTLET		20 A	1	3		0		0	3	1	20 A			LIGHTS (NEW)	20
21	STAFF RM OUTLET		20 A	1	3	0		0		3	1	20 A			CHEN PLUG	22
23	GARBAGE DISPOSAL		20 A	1	3		0		0	3	1	20 A			CHEN PLUG	24
25	DISH WASHER		20 A	1	3	0		0		3	1	20 A			FFICE FCU	26
27	MICROWAVE (BUILT IN)		20 A	1	3		0		0	3	1	20 A			OOF PLUG	28
29	REFRIGERATOR		20 A	1	3	0		180		1,2	1	20 A	R		L STATION HALL 225	30
31	BUSSED SPACE			1				1.00	540	2	1	20 A	R		R HALL 225	32
33	BUSSED SPACE			1							1				SSED SPACE	34
35	BUSSED SPACE			1							1			BUS	SSED SPACE	36
37	BUSSED SPACE			1							1			BUS	SSED SPACE	38
39	BUSSED SPACE			1							1			BUS	SSED SPACE	40
41	BUSSED SPACE			1							1				SSED SPACE	42
ļ	Total Connected load Ph. A			!		2 A		Par	el	0.7 kV			-	3.0 A		
. NEV	Total Connected load Ph. B Total Connected load Ph. C VIDE GFCI TYPE BREAKER. / LOAD ON NEW BREAKER. STING LOAD ON EXISTING BREAKER	₹.				5 A 0 A		Total De	emand	0.7 kV	Α			3.0 A		
Motor (R = Re E = Exi	Type Definitions: 125% largest Motor + 100% remaining ceptacles (to 10kVA100%, over 10 kV/sting Load 30-day metered (125%)	A 50%) [^]		G = G EL = E	eneral L levator	oad (No (Deman	n-contin	IEC Table uous) (10	00%) ble	W =	. = Light	us Load ting (125 Heater (1	%)	H = Heating (1		1
L	oad Type Connected L	oad			emand			NEC D	emand I	oad				Panel To	otals	
?	720.0				100.00%	ó			720.0							
												T		nected Load:	l .	
														IEC Demand:		
						1				1						
														cted Current:		

	MAIN LUG ONLY BUS AMPACITY: 125 A EQUIPMENT RATING: 120/240 V, FOR AIC RATING SEE ONE-LIN							MOUNT NCLOS LOCAT PLIED FF	ure: T 'ion: S	YPE 1		A	Accessories:				
		Ī	Load (VA)														
						Α	В	Α	В								
CKT	Description/Location	Type	C.B.	Pole	Note					Note	Pole	C.B.	Type	Descr	iption/Location	CK.	
1	PLUGS RM 27		20 A	1	5	0		0		5	1	20 A		LIBF	RARY LIGHTS	2	
3	RM 27		20 A	1	5		0		0	5	1	20 A			OFFICE	4	
5	RM 27, LIGHTS LIBRARY		20 A	1	5	0		0		5	1	20 A		FLO	OOD LIGHTS	6	
7	RM 27, TV OUTLET		20 A	1	5		0		0	5	1	20 A		W HAL	L LIGHTS N END	8	
9 (OUTISDE LIGHTS, ENTRY NORTH		20 A	1	5	0		0		5	1	20 A		W HAL	L LIGHTS S END	10	
11	VIDEO STATIONS, RM 10,12		20 A	1	5		0		0	5	1	20 A		VIDEO ST	ATIONS, RM 11, 13	12	
13	CL 10,12,14 OUTLETS		20 A	1	5	0		0		5	1	20 A		VIDEO S	STATIONS, RM 15	14	
15	VIDEO STATIONS, RM 14,16		20 A	1	5		0		0	5	1	20 A		IE	F OUTLET	16	
17	CL 11,13,15,16 OUTLETS		20 A	1	5	0		540		1	1	20 A	R	CL 20,2	2,24,26 OUTLETS	18	
19	VIDEO STATIONS, RM 20,22		20 A	1	5		0		720	1	1	20 A	R	CL 23,	25,27 OUTLETS	20	
21	VIDEO STATIONS, RM 24,26	R	20 A	1	1,5	720		0		5	1	20 A		VIDEO ST	ATIONS, RM 25,27	22	
23	VIDEO STATIONS, RM 21,23		20 A	1	5		0		0	5	1	20 A		WORK	ROOM OUTLETS	24	
25	DRINKING FOUNTAIN		20 A	1	5	0		0		5	1	20 A		EAS	ΓWALL RM 27	26	
27	COMPUTER RM S WALL		20 A	1	5		0		0	5	1	20 A		NORT	H WALL RM 27	28	
29	REFRIGERATOR RM 202	R	20 A	1	2,4	600		0		5	1	20 A		NORT	H WALL RM 27	30	
31	REFRIGERATOR RM 201	R	20 A	1	2,4		600		0		1	20 A		SPA	RE BREAKER	32	
33	HAND DRYERS RM 209	Motor	20 A	1	2,4	1,060		0		5	1	20 A		R	OOF PLUG	34	
35	HAND DRYERS RM 208	Motor	20 A	1	2,4		1,060		360	2,4	1	20 A	R	BOTTLE F	LL STATION HALL	36	
37	BUSSED SPACE			1				540		4	1	20 A	R	R HA	LL 225, RM 223	38	
39	BUSSED SPACE			1					0	5	2	20 A		EXI	STING LOAD	40	
41	BUSSED SPACE			1				0								42	
	Total Connected load Ph. A					29 A		Par	nel	6.2 kV/	<u> </u>			25.8 A			
Total Connected load Ph. B				23 A Total Demand 6.3 kVA 26.4 A													
	Total Connected load Ph. C					0 A											
2. PROV 3. NOT U 4. NEW	ADDED TO EXISTING CIRCUIT. VIDE GFCI TYPE BREAKER. JSED. LOAD ON NEW BREAKER																
Motor (1 R = Rec E = Exis	25% largest Motor + 100% remaining eptacles (to 10kVA100%, over 10 kVA ting Load 30-day metered (125%)	A 50%) [^]		G = G EL = E	eneral L Elevator	Demand a oad (No. (Deman	n-continu	uous) (10 NEC Ta	00%) ble	L W =	= Light	us Load ting (125 Heater (1	%)	X = X-Rays (D H = Heating (emand per NEC 660.6 (100%))	
Lo	ad Type Connected L	oad		NEC D	emand	Factor		NEC D	emand L	.oad				Panel To	otals		
Motor	2120.0				106.25%	6		2	2252.5								
₹	4080.0				100.00%	6			0.0804			To		nected Load:			
														IEC Demand:			
							1				1						
									Total NEC D					cted Current:	25.8 A		

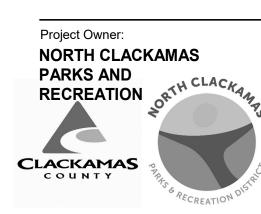
	MAIN LUG ONLY BUS AMPACITY: 225 A EQUIPMENT RATING: 120/240 V FOR AIC RATING SEE ONE-L															
							Load	(VA)								
СКТ	Description/Location	Туре	C.B.	Pole	Note	Α	В	A	В	Note	Pole	C.B.	Туре	Descr	ription/Location	СКТ
1	RM 10 LIGHTS		20 A	1 016	1	0		0		Note	1	20 A	Type 		RE BREAKER	2
3	SPARE BREAKER		20 A	1	'	U	0	-	201	1	1	20 A	 L	357	INV-1, 2	4
5	RM 11 LIGTHS		20 A	1	1	0	U	0	201	<u>'</u>	1	20 A	L	CD4	RE BREAKER	6
7				1	1	U	0	U	0	1	1	20 A			M 16 LIGHTS	-
	RM 11 LIGHTS		20 A	<u> </u>	1	0	U		U	<u> </u>						8
9	SPARE BREAKER		20 A	1	1	0	0	0	-	1	1	20 A			M 14 LIGHTS	10
11	RM 13 LIGHTS		20 A	1	1	•	0		0	1	1	20 A			V, RM 17 LIGHTS & R	12
13	RM 13 LIGHTS		20 A	1	1	0		0		1	1	20 A			M 16 LIGHTS	14
15	RM 12 LIGHTS		20 A	1	1	_	0	_	0	1	1	20 A			ALL LIGHTS	16
17	SPARE BREAKER		20 A	1		0		0		1	1	20 A			M 14 LIGHTS	18
19	RM 11 UV		20 A	1	1		0		0	1	1	20 A			RM 14 UV	20
21	RM 12 RECEPT, RM 10 UV		20 A	1	1	0		0		1	1	20 A			RM 16 UV	22
23	RM 13 UV		20 A	1	1		0		0		1	20 A			RE BREAKER	24
25	SPARE BREAKER		20 A	1		0		0		1	1	20 A			RM 15 UV	26
27	RM 12 UV		20 A	1	1		0		0		1	20 A		SPA	RE BREAKER	28
29	HALLWAY LIGHTS		20 A	1	1	0		0		1	1	20 A		RM 15 LIGH	TS, STORAGE LIGHTS	30
31	SPARE BREAKER		20 A	1	1		0		0	1	1	20 A		SPA	RE BREAKER	32
33	SPARE BREAKER		20 A	1	1	0		0		1	1	20 A		SPA	RE BREAKER	34
35	SPARE BREAKER		20 A	1	1		0		0	1	1	20 A		SPA	RE BREAKER	36
37	SPARE BREAKER		20 A	1	1	0		0		1	1	20 A		SPA	RE BREAKER	38
39	SPARE BREAKER		20 A	1	1		0		0	1	1	20 A		SPA	RE BREAKER	40
otes:	Total Connected load Ph. A Total Connected load Ph. B Total Connected load Ph. C SCHEDULE.					0 A 2 A 0 A			nel emand	0.2 kV/ 0.3 kV/				0.8 A 1.0 A		
otor (1: = Rece = Exist	pe Definitions: 25% largest Motor + 100% remainine ptacles (to 10kVA100%, over 10 kVing Load 30-day metered (125%) ad Type Connected	/A 50%)		G = G EL = E	eneral L	Demand a oad (Nor	n-contin	uous) (1 NEC Ta	00%)	W =	= Ligh	us Load ting (125 Heater (1	%)	X = X-Rays (I H = Heating (
	201.1				125.00%				251.4							
	201.1				. 20.00 /				201.7			т.	otal Con	nected Load:	201 1 VA	
												- 1		IEC Demand:		
													i Otal I		201.7 VA	
												Tota	I Conno	cted Current:	0.8.4	





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Revisions to Sheet

No. Revision Date

12 PR-02 02/17/25

Status: PERMIT SET

Date: 09.14.2023
Sheet Title
SCHEDULES ELECTRICAL

heet No.

E6.11

4775-08

RECALL.

- F1 MOUNT 135° FIXED TEMPERATURE HEAT DETECTOR TO WITHIN 24 INCHES OF EACH SPRINKLER HEAD IN ELEVATOR CONTROL CLOSET AND HOISTWAY, WHEN SPRINKLERED.
- F2 MOUNT SMOKE DETECTOR IN ELEVATOR LOBBY ON CEILING TO WITHIN 21 FEET OF CENTER OF ELEVATOR DOOR.
- F3 PROVIDE ADDRESSABLE FIRE ALARM CONTROL RELAY AND WIRING TO ELEVATOR CONTROLLER/DRIVE FOR ELEVATOR PRIMARY
- F4 PROVIDE ADDRESSABLE FIRE ALARM CONTROL RELAY AND WIRING TO ELEVATOR CONTROLLER FOR ELEVATOR ALTERNATE RECALL.
- F5 PROVIDE ADDRESSABLE FIRE ALARM CONTROL RELAY AND WIRING TO ELEVATOR CONTROLLER TO ACTIVATE FIREMAN'S HAT LIGHT IN ELEVATOR CAB UPON INITIATION OF SMOKE DETECTION IN ELEVATOR SHAFT OR MACHINE ROOM.
- F6 PROVIDE ADDRESSABLE FIRE ALARM CONTROL RELAY AND WIRING
- F7 PROVIDE HEAT AND SMOKE DETECTORS AT THE TOP OF EACH ELEVATOR SHAFT, WHEN SPRINKLERED. PROVIDE LIQUIDTIGHT
- - ROOM AND ELEVATOR PIT, PER N.E.C. ARTICLES 620.23 AND 620.24. E5 PROVIDE FUSIBLE SHUNT TRIP POWER MODULE WITH CONTROL TRANSFORMER, TEST SWITCH, PILOT LIGHT, CONTROL POWER MONITORING, AUXILIARY CONTACTS AND ALARM CONTACTS. SIZE OF POWER MODULE AS NOTED ON DRAWINGS. BUSSMAN, FERRAZ-SHAWMUT, LITTLEFUSE OR APPROVED.

CIRCUIT BY TOP OF PIT LADDER.

- E6 COORDINATE WALL MOUNTING SPACE FOR ALL ELECTRICAL EQUIPMENT WITH ELEVATOR SUPPLIER/INSTALLER PRIOR TO
- E7 PROVIDE DEDICATED PHONE LINE IN 3/4" CONDUIT TO TELEPHONE TERMINAL BOARD. COORDINATE WITH DIVISION 27.

PLUMBING NOTES

CLOSEST TO SUMP HOLE WITH LIQUIDTIGHT FLEXIBLE CONDUIT. PROVIDE DEDICATED CIRCUIT WITH GFCI PROTECTION. COORDINATE

P2 SUMP PUMP ALARM PANEL. COORDINATE ALARM PANEL LOCATION

WITH OWNER AND DIVISION 22. PROVIDE DIDICATED CIRCUIT.

PROVIDE 1/2" CONDUIT AND CONTROL WIRE FROM SUMP PUMP ALARM

P3 PANEL TO SUMP PUMP HIGH LEVEL ALARM. COORDINATE WITH DIVISION

ELECTRICAL NOTES

E2 PROVIDE NEMA 4 SURFACE MOUNTED LED GASKETED LUMINAIRE.

BEGHELLI ILLUMINIA SERIES, METALUX, DAYBRITE, HUBBELL, LIGHTOLIER OR APPROVED. TYPICAL OF FOUR. MOUNT ONE

LUMINAIRE ON EACH WALL. AVOID LOCATING LUMINAIRES

LIGHT. WIRING SHALL BE IDENTIFIED FOR WET LOCATIONS.

E4 PROVIDE DEDICATED CIRCUIT. ROUTE INCOMING CIRCUIT TO

POLYCARBONATE DIFFUSER. LED, NOMINAL 6000 LUMENS, 4000K.

DIRECTLY BEHIND BEAMS OR STRUCTURE THAT WOULD BLOCK

E3 MOUNT SHUNT TRIP POWER MODULE WITHIN DOOR JAMB AT MAIN

LUMINAIRES UPSTREAM OF GFCI RECEPTACLE IN BOTH MACHINE

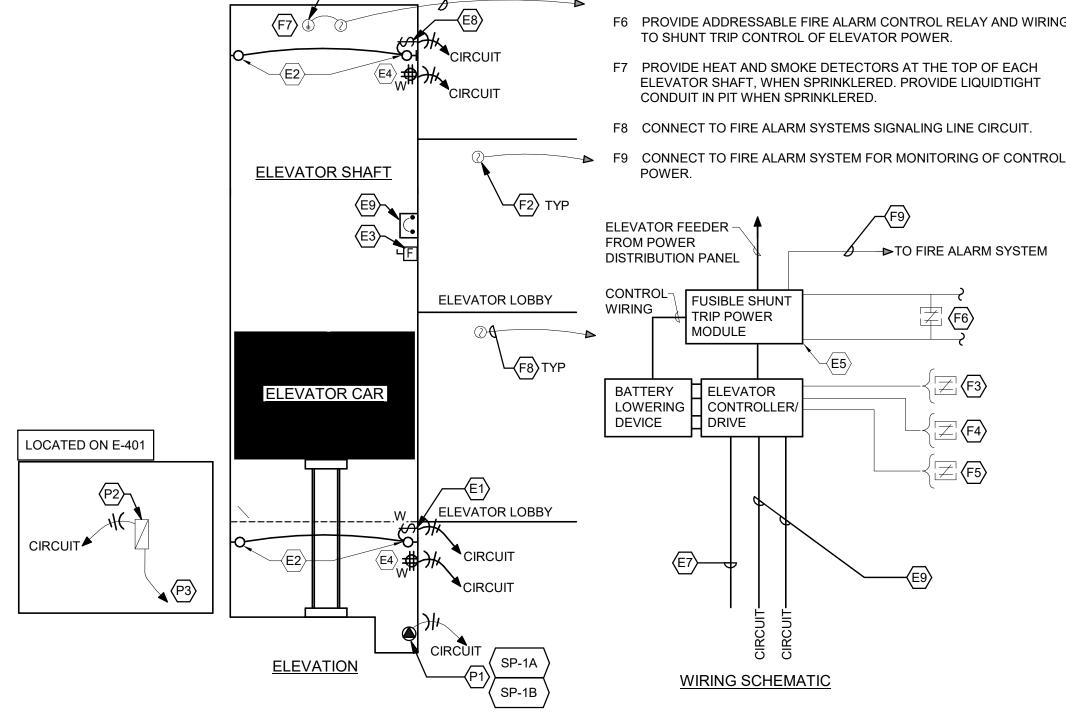
LEVEL LANDING. SEE ONE-LINE DIAGRAM FOR FEEDER INFORMATION.

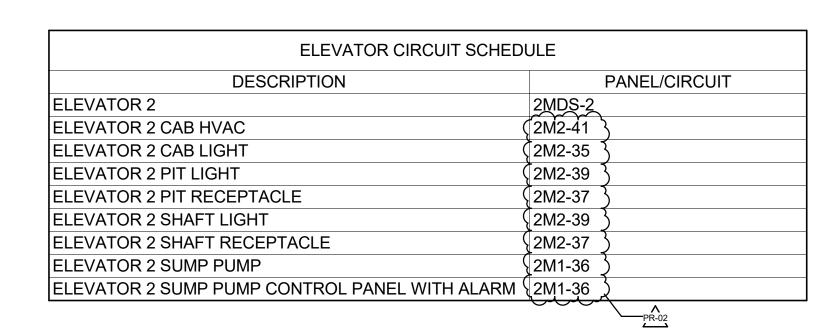
E1 MOUNT WEATHERPROOF TOGGLE SWITCH FOR PIT LIGHTING

FOUR FOOT WHITE POLYCARBONATE HOUSING WITH

P1 CONNECT TO ELEVATOR PIT SUMP PUMP ON AREA OF PIT WALL

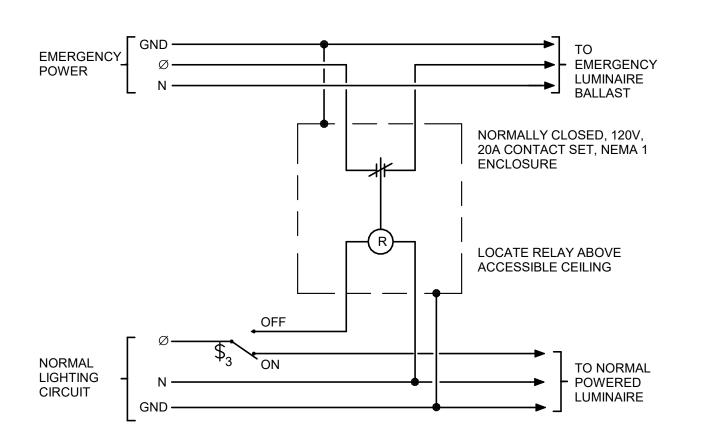
- E8 MOUNT WEATHERPROOF TOGGLE SWITCH FOR SHAFT LIGHTING
- WITHIN REACH OF ELEVATOR HATCH WHEN THE CABIN IS AT THE TOP OF THE SHAFT.
- E9 PROVIDE SEPARATE DEDICATED CIRCUITS AND LOCKABLE ENCLOSED CIRCUIT BREAKERS IN SAME SPACE AS ELEVATOR CONTROLLER FOR EACH ELEVATOR CAR LIGHTS AND HVAC. INDICATE CAR NUMBER AND TYPE OF LOAD AT EACH CIRCUIT BREAKER. REFER TO FLOOR PLAN FOR LOCATION OF BRANCH





MACHINE ROOM-LESS (MRL) HYDRAULIC TYPE ELEVATOR ELECTRICAL

NO SCALE

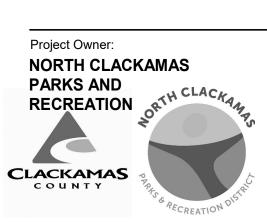


2 OCCUPANCY SENSOR CONTROLLED EMERGENCY LIGHTING CONTROL SCHEMATIC



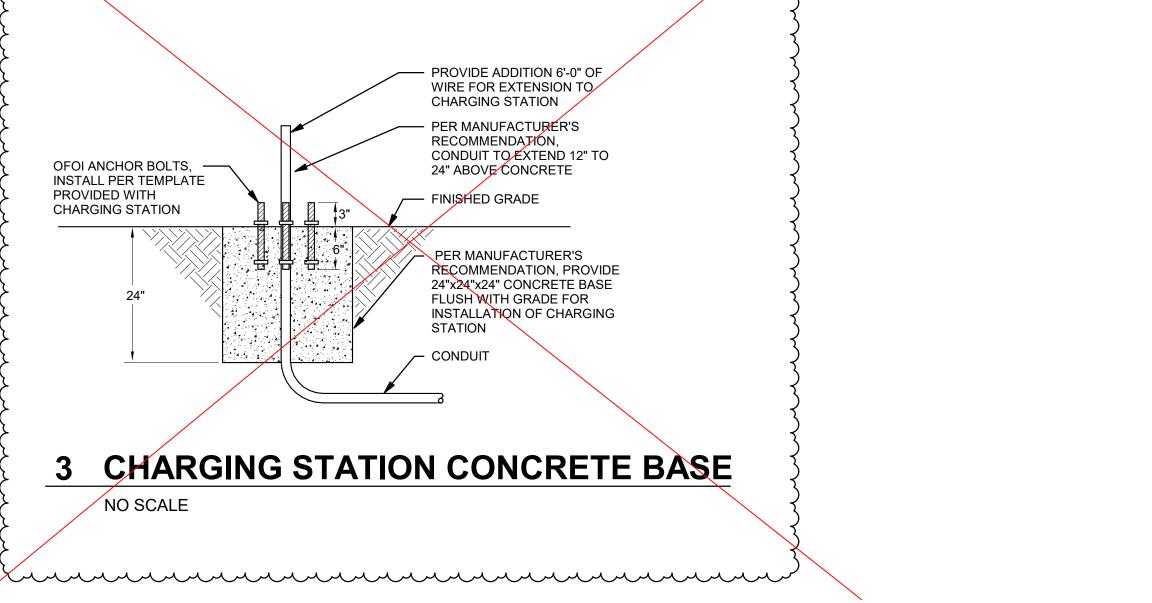
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INTERFACE ENGINEERING **PROJECT** 2022-1137

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PERMIT SET

09.14.2023

DETAILS -**ELECTRICAL**

E7.10

plotted: **2/28/2025 10:46:55 AN**

TECHNOLOGY SYMBOL LIST

NOTE: This is a standard symbol list and not all items listed may be used.

breviat	<u>ions</u>
AFF	ABOVE FINISHED FLOOR
ALS	ASSISTED LISTENING SYSTEM
AV	AUDIO VISUAL
CATV	CABLE ANTENNA TELEVISION
CAT	CATEGORY CABLE
CCTV	CLOSED CIRCUIT TELEVISION
COM	COMMUNICATION
(X)	DEMOLISH
EF	ENTRANCE FACILITY
ER	EQUIPMENT ROOM
(E)	EXISTING
LC	FIBER OPTIC CONNECTOR
SC	FIBER OPTIC CONNECTOR
FDU	FIBER OPTIC DISTRIBUTION UNIT
FT	FOOT, FEET
GND	GROUND
HH	HANDHOLE
IN	INCH, INCHES
ICT	INFORMATION AND COMMUNICATIONS TECHNOLOG
ΙΤ	INFORMATION TECHNOLOGY
LAN	LOCAL AREA NETWORK
LV	LOW VOLTAGE
MTR	MAIN TELECOMMUNICATIONS ROOM
MH	MAINTENANCE HOLE
MATV	MASTER ANTENNA TELEVISION
(N)	NEW
NTS	NOT TO SCALE
OSP	OUTSIDE PLANT
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED, OWNER INSTALLED
PTZ	PAN, TILT, ZOOM

PRIMARY BUSBAR

SECONDARY BUSBAR

SATELLITE ANTENNA TELEVISION

TELECOMMUNICATIONS ROOM

UNLESS OTHERWISE NOTED

WEATHERPROOF

WIRELESS FIDELITY

WIDE AREA NETWORK

WIRELESS ACCESS POINT

UNINTERRUPTABLE POWER SUPPLY

SECONDARY BONDING CONDUCTOR

TELECOMMUNICATIONS BONDING BACKBONE

TELECOMMUNICATIONS BONDING CONDUCTOR

TELECOMMUNICATIONS EQUIPMENT BONDING CONDUCTOR

QUANTITY

RACK UNIT

TYPICAL

QTY

SATV

SBC

SBB

TBB

TBC

TEBC

TR

TYP

UON

WAN

WAP

WIFI

Electronic Security

- DESK MOUNTED LOCKDOWN BUTTON LOCATION WITH 3/4"
 CONDUIT TO ACCESSIBLE CEILING AND CABLING TO NEAREST
 SECURITY PANEL. FINAL LOCATION TO BE COORDINATED WITH
 OWNER AND ARCHITECT. PROVIDE LOCKDOWN
 PROGRAMMING.
- ELECTRIC STRIKE DOOR LOCKS WITH 3/4" CONDUIT TO ACCESSIBLE CEILING AND CABLING TO NEAREST SECURITY
- REQUEST TO EXIT DEVICE WITH 3/4" CONDUIT TO ACCESSIBLE CEILING AND CABLING TO NEAREST SECURITY PANEL
- VIDEO SURVEILLANCE CAMERA LOCATION WITH ONE, CATEGORY 6A CABLE. PROVIDE 5S BOX WITH SINGLE GANG ADAPTER RING AND 1.25" CONDUIT WITH PROTECTIVE BUSHING, STUBBED TO NEAREST ACCESSIBLE CEILING SPACE. RACEWAY AND CABLING SHALL BE CFCI. CAMERA SHALL BE OFOI.
- WALL MOUNTED ACCESS CONTROL CARD READER WITH 3/4"
 CONDUIT TO ACCESSIBLE CEILING AND CABLING TO NEAREST
- WALL MOUNTED LOCKDOWN STROBELIGHT WITH
 TRANSPARENT PROTECTIVE COVER MOUNTED AT 96" AFF.
 PROVIDE 5S BOX WITH SINGLE GANG ADAPTER RING AND 1.25"
 CONDUIT TO NEAREST ACCESSIBLE CEILING.PROVIDE
 CABLING PER MANUFACTURER'S SPECIFICATIONS. 'X'

<u>Telecommunicatio</u>

COMMUNICATIONS OUTLET WITH TWO, CATEGORY 6A CABLES. PROVIDE 5S BOX WITH SINGLE GANG ADAPTER RING AND 1-1/4" CONDUIT WITH PROTECTIVE BUSHING STUBBED TO NEAREST ACCESSIBLE CEILING SPACE. MOUNTED AT +18",

INDICATES LENS COLOR OF THE LIGHT. 'B' INDICATES BLUE.

- TWO-WAY COMMUNICATION SYSTEM MASTER BASE STATION BACK BOX: 15.62" H X 12" W X 3" D
- TWO-WAY COMMUNICATION SYSTEM REMOTE CALL BOX
 BACK BOX: 9-7/8" H X 6-1/2" H X 3" D
 FACE PLATE: 11-3/8" H X 8" W

FACE PLATE: 16.11" H X 14" W

GENERAL SHEET NOTES

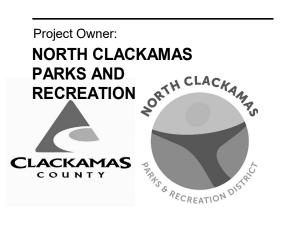
- A. COMMUNICATIONS RACEWAYS, TRAYS AND OUTLETS ARE SHOWN DIAGRAMMATICALLY. LOCATIONS ARE APPROXIMATE UNLESS SPECIFICALLY DIMENSIONED. FIELD COORDINATE ALL WORK WITH OTHER TRADES.
- B. CONSTRUCTION DETAILS SHOW TYPICAL INSTALLATION UNLESS OTHERWISE NOTED, AND APPLY TO ALL COMMUNICATIONS WORK INCLUDED IN THE SUMMARY OF WORK FOR THIS PACKAGE EVEN THOUGH NOT SPECIFICALLY REFERENCED ON THE PLAN DRAWINGS.
- C. THE TECHNOLOGY DRAWINGS ARE PART OF A LARGER SET OF DRAWINGS WHICH, WHEN COMPLETE, CONSISTS OF DRAWINGS LISTED BY THE "INDEX OF DRAWINGS." PARTIAL SETS OF DRAWINGS NOT INCLUSIVE OF ALL DISCIPLINES ARE INCOMPLETE AND SHALL NOT BE DISTRIBUTED OR UTILIZED.
- D. INSTALL PULL STRINGS IN ALL CONDUITS AT THE TIME OF CONDUIT AND CABLE INSTALLATION.





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Revisions to Sheet

 No.
 Revision
 Date

 12
 PR-02
 02/17/25

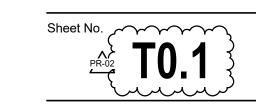
SHEET INDEX

- T0.1 SYMBOL LIST AND GENERAL NOTES TECHNOLOGY
- T2.11 LOWER LEVEL FLOOR PLAN TECHNOLOGY
- T2.12 UPPER LEVEL FLOOR PLAN TECHNOLOGYT5.10 DETAILS TECHNOLOGY

Status: PERMIT SET

Sheet Title
SYMBOL LIST
AND GENERAL
NOTES -

TECHNOLOGY





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SHEET KEYNOTES

PROVIDE NEW ACCESS CONTROL CARD READER. RACEWAY, ROUGH-IN AND CABLING SHALL BE PROVIDED AS PART OF RFI 113. CARD READER AND ACCESS CONTROL DOOR HARDWARE SHALL BE PROVIDED AS PART OF PR-02.

2. EXISTING ACCESS CONTROL CARD READER TO REMAIN. AS PART OF RFI 113, WIRING FROM THIS CARD READER AND CORRESPONDING DOOR HARDWARE SHALL BE CUTOVER TO NEW ACCESS CONTROL DOOR CONTROLLER IN ROOM 207C.

8. LOCATION OF EXISTING ACCESS CONTROL PANEL TO BE REPLACED AS PART OF RFI 113. DEMOLISH EXISTING ACCESS CONTROL PANEL. KEEP EXISTING WIRING TO EXISTING CARD READER MENTIONED IN KEYNOTE (2). PROVIDE NEW JOHNSON CONTROLS ACCESS CONTROL PANEL AS PER SPECIFICATIONS. CUTOVER EXISTING ACCESS CONTROL CARD READER CABLING AS PER KEYNOTE (2) AND TIE IN NEW ACCESS CONTROL CARD READER CABLING ÀS PER KEYNOTE (1).

EXPIRES: 06/30/26

Project Owner: NORTH CLACKAMAS PARKS AND RECREATION & **CLACKAMAS**

Project Name: CONCORD COMMUNITY

Project Adress: 3811 SE Concord Road, Milwaukie, OR 97267

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02/18/25

RFI 105.2 01/24/25

RFI 113

PERMIT SET

09.14.2023

Sheet Title **LOWER LEVEL** FLOOR PLAN -TECHNOLOGY

Sheet No. **T2.11** 4775-08



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○ SHEET KEYNOTES 1. PROVIDE NEW ACCESS CONTROL CARD READER AS PART OF PR-02. CARD READER, DOOR DEVICES, CABLING, RACEWAY AND ROUGH-IN SHALL BE PART OF PR-02.



Project Owner:

NORTH CLACKAMAS

PARKS AND

RECREATION

ORTH CLA CLACKAMAS

Project Name:

Project Adress: 3811 SE Concord Road, Milwaukie, OR 97267

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Sheet Title **UPPER LEVEL**

FLOOR PLAN -TECHNOLOGY